

City Of Torrington

ECONOMIC DEVELOPMENT
(860) 496-5920



140 Main Street • City Hall
Torrington, CT 06790-5245

MEMORANDUM

TO:

City Council

CC:

FROM:

Rista Malanca, AICP

file

DATE:

FEBRUARY 28, 2023

RE:

85 Pulaski St

☐ URGENT

☐ FOR REVIEW

☐ PLEASE COMMENT

☐ FOR YOUR USE

☐ PLEASE RECYCLE

NOTES/COMMENTS:

Dear Council Members,

The property owners have submitted a Tax Abatement request for your review.

Attached is the complete application packet, along with the required letters from my office, the Tax Collector, and Planning and Zoning approvals. The Assessor's Office has provided both existing and estimated Assessments, also included in the attached package.

Photos of the existing conditions of the schoolhouse can be found here:

https://drive.google.com/drive/folders/1L7djdqsY4y0w6MwXUKEW9a5VR0HDNyO-?usp=share_link

City Of Torrington

RISTA MALANCA, AICP
ECONOMIC DEVELOPMENT
140 Main Street • City Hall
Torrington, CT 06790-5245



Phone: (860) 496-5920
Fax: (860) 489-2541
e-mail: Rista_Malanca@torringtonct.org

February 28, 2023

OV 147 Market, LLC
Braham Berg
234 10th Avenue # 20178
New York, NY 10011

Re: 85 Pulaski Street – Tax abatement request

Dear Mr. Berg,

Thank you for your commitment to investing in property here in Torrington. Your tax abatement request, for 85 Pulaski Street, is eligible under the City of Torrington's "Tax Incentive Policy".

The current value of your property is assessed at \$350,000 for the 2022 Grand List (prior to the start of construction). Based on your proposal, it is estimated your investment will increase the property assessment to \$695,330. Pending City Council approval, your request would be eligible for the following tax incentive:

Year 1	Year 2	Year 3	Year 4	Year 5	Year 6
0%	20 %	40%	60%	80%	100%
Of	Of	Of	Of	Of	Of increased
increased	increased	increased	increased	increased	Assessment Paid
Assessment	Assessment	Assessment	Assessment	Assessment	
Paid	Paid	Paid	Paid	Paid	

This is **approximately** a \$48,836 tax savings, over 5 years, based on a Mill Rate of 47.14.

If approved by City Council, the Grand List for which this incentive applies and the final assessment will be determined upon receiving a certificate of occupancy. A formal tax agreement between your company and the City of Torrington will be required prior to receiving any tax incentive.

If you wish this proposal be forwarded to City Council for review and approval please confirm by contacting me at Rista_Malanca@torringtonct.org.

Sincerely,

Rista Malanca, AICP
Director of Economic Development
City of Torrington

Pulaski Commons, St. Mary of Czestochowa Church
85 Pulaski St, Torrington CT 06790
Tax Abatement Application
January 2023 - Submitted 01.16.2023



Submitted by Braham Berg, MSRED, M.Arch, oDADA Ventures
Managing Member, OV 147 Market LLC

TO: RISTA MALANCA, City of Torrington, Economic Development

CC: Maurette Wall, City of Torrington
Thomas DiStasio, City of Torrington
Sean Dillmeier,
Jonah Schatz, RA
Ian Rosenfield, RA

January 16, 2023

Dear **Ms. Malanca**,

On behalf of OV 147 Market LLC, the owner of 85 Pulaski St, Torrington, CT [the former St Mary's Church and Schoolhouse and proposed Pulaski Commons], we are applying for tax abatement program for our planned redeveloped of the former school building into multi-family housing complex. The property is currently vacant and has been deferred for years. While we attempt to preserve the cultural and historic significance of the building, we are experiencing a convergence of a couple of unique events which underscore the importance of this project and the effect a tax abatement would have in bringing the project into a reality:

- A historic shortage of quality and affordable housing in Torrington (a key goal which this redevelopment attempts to provide up to 20 apartment units)
- A historic rise in interest rates which in the last 4-6 months has nearly doubled and constrained the housing market and the potentially suppressed the ability and cost to re-develop a project like this.
- An ongoing rise and wave of construction & building costs and overall challenge to adequately project timelines due to supply chain issues.

Despite the ongoing pressures, we believe this project is an exciting one for the City of Torrington, and has the potential of not only adding quality housing inventory to Torrington, but with the requested tax-abatement pushing this project to the edge, substantially increasing the tax base and taxable revenue for the City and the area.

We welcome any questions, and look forward to working with you and the City of Torrington to bringing this project to reality within the next couple of months.

Best,
BB


Braham Berg,
Managing Partner
OV 147 Market LLC

City of Torrington

Application for Tax Abatement under "Tax Incentive Policy"

Improvements are for one of the following:

☐ Manufacturing ☐ Office Use ☐ Warehouse/Distribution ☐ Information Technology

☒ Residential in the DD District ONLY ☐ Retail in the DD District ONLY

This property is currently a distressed or abandoned industrial property? YES NO

Property is a distressed, vacant church and school building.

Current Appraised Value of property (According to Assessor's Card) \$500,000

New Appraised Value of property (According to Assessor's Office) \$1,750,000 estimate or actual

Percent increase of property value 350x

Are there any federal, state or local tax liens on your personal property or real property? YES NO

1. Property Description

Address of property **85 Pulaski Street Torrington, CT 06790**

Assessor's Map 108 Block 016 Lot 001

Per City of Torrington Zoning Map, this property is zoned R6

2. Property Owner Information

Name OV 147 Market LLC

Address 234 10th Avenue #20178

City/State/Zip New York, NY 10011

Phone 917.749.0176 email bb@odada.us

3. Applicant Information (if different than owner)

Name Braham Berg

Interest in property Managing Member If tenant, provide a copy of an executed lease agreement

Address 234 10th Avenue #20178

City/State/Zip New York, NY 10011

Phone 917.749.0176 email bb@odada.us

4. Describe current use, occupancy and general condition of the property (use separate sheet if necessary)

Please see attached.

5. Describe, in detail, proposed improvements and use: including new construction, additions, renovations, parking, drainage & signs. Include estimated completion date.

Please see attached. Estimated completion is 6-9 months after full approvals and plans.

of new jobs for Torrington as a direct result of this proposal 2-7 (part-time and full time)

of jobs retained in Torrington as a direct result of this proposal 1

6. List proposed project costs, in detail. *(use separate sheet if necessary)*

Please see attached.

Estimated Hard (Construction) Costs - \$1M

Estimated Soft Costs - \$250k

Total Construction costs: \$ 1,250,000

7. If tax abatement pertains to personal property*, identify each piece of personal property. Include quantity, description/model ID, Date Acquired, Date Installed & Acquisition cost *(use separate sheet if necessary)*

N/A

Total Personal Property Costs \$ N/A

8. Provide any additional factors you would like City Council to consider *(use separate sheet if necessary)*

Please see attached.

In addition to this application, the following is required:

- Letter from City Planner stating project is approved or appears feasible (Martin Connor 860-489-2221)
- Letter from the Tax Collector stating the taxes on this property are current (Launa Goslee 860-489-2209)
- Letter from Tax Assessor stating the current tax assessment, project tax assessment and amount of increased assessment for which abatement is requested. The Assessor will need A copy of your Site Plan, Building Plans & Mechanical specs in order to provide this information. (Tom DiStasio 860-489-2222)
- Letter from Economic Development Director that includes a cost/benefit analysis of the tax abatement

I have read and understand The City of Torrington's Tax Incentive Policy, revised July 2005.

I understand approval of this application is at the sole discretion of the City Council and the City Council may attach conditions and stipulations as deemed appropriate and legal. Nothing shall require the City Council to approve this application.

I hereby certify that to the best of my knowledge the information contained herein and attached hereto is an accurate and truly descriptive of the proposal and property.

Owner's Signature Braham J. Berg

Braham Berg, OV 147 Market LLC

Applicant's Signature Braham J. Berg

(Extension of #4)

Describe current use, occupancy and general condition of the property (use separate sheet if necessary)

Located in the northern part of Downtown Torrington, less than a mile from the Downtown Torrington Historic District and City's central business, two structures - St Mary of Czestochowa's Church and St Mary's School - are located on a large 1.5-acre tree-lined corner parcel intersected by Forest Court and Pulaski Street. Currently, both the former St Mary's of Czestochowa, and the St Mary's Schoolhouse are vacant buildings. More specifically:

1. For the St Mary's Schoolhouse (the main focus of the redevelopment):

This schoolhouse was constructed circa 1960 and was utilized most recently as an occasional shelter over the winter for United Way & the City's homeless. The building has been majorly vacant since the school's closing. The building provides a total square foot area of 14,688 square feet, with 7,344 square feet on the first floor and another 7,344 square feet on the second floor, with an unfinished 2,040 square foot basement. The layout of the interior provides a large interior hallway from the front to rear on both levels, off of which are a multiplicity of school rooms, offices, break rooms, special purpose rooms, bathrooms, and a kitchen area. The general configuration from its initial design has been maintained, as the K-4 grades were on the lower level and the 5-8 grades were on the upper level. Overall, the building is typical, efficient, and modern. The construction of schoolhouse reflects good quality structure and material. **The building show some signs of deferred maintenance and been overall well-maintained. In short, the school house is currently not in use, has no occupancy, and is in good general condition.**

2. Church Building (St. Mary's of Czestochowa) - will not be altered, but some background includes:

85 Pulaski consists of a masonry-built church structure, operating as a church from 1919 - 2017). Designed by architect Joseph A Jackson (1861 - 1940), the church building consists of two levels with a mezzanine and a belfry and was designed to handle over 400 parishioners. On the ground level, there is an auditorium congregational space along with bathrooms and kitchen. From the outside, large processional steps lead up to the triple-height sanctuary space, with beautiful stained glass windows. The church building is approximately 16,000 sf. The church is a classic low Gothic design reminiscent of Eastern-European-style. The configuration of the building is a standard cross design but incorporates supporting buttresses, a stone façade, cut stone and glass and painted stained glass windows, and an organ. The property has been deteriorated in recent years but overall is well-maintenanced. The building technically provides a primary 7,120 square foot high-ceilinged (over 60') main level which pertains to the core sanctuary use of the church, with an elevated 1,100 square foot choir balcony/organ area. There is a 7,120 square foot basement / lower level. **Mechanical systems are semi-modern.. Overall, the building presents insufficiencies and inadequacies pertaining to its design, and uniqueness to structure, stained glass windows, vaulted ceiling, a bell tower, bells, organs, etc. It demonstrates signs of deferred maintenance as well as potential need for modifications or repairs. In short, the church building is currently not in use, has no occupancy, and is in great general condition.**

(Extension of #5)

Describe, in detail, proposed improvements and use: including new construction, additions, renovations, parking, drainage & signs. Include estimated completion date.

Schoolhouse: (Estimated Completion: Q1 or Q2 2024)

The prospective multi-family apartment complex will convert the school into 15-20 unit apartments, with a majority of well-sized one-bedroom and two-bedroom units. This is a natural progression of the property, given the layout, design, and configuration which lend itself for this purpose. Since the building was built by a congregation looking for a contemporary design, it has a strong base, yet the interiors have to be reconfigured and remodeled, and refinishing with individual unit kitchens and bathrooms. The renovation costs are significant, at least \$1,200,000. Further, mechanical systems, and hallways will be updated. The outside would be washed and cleaned up refurbishing the exterior.

The Prospective Apartment Complex will incorporate existing structural exterior and interior components. The structure will be unchanged and consist of poured concrete footings, poured concrete foundation, a concrete block and structural steel frame. The exterior will continue to have brick block and cut stone walls, casement style newer thermopane glass within metal framing, tempered glass within steel frame windows, modern tempered glass within steel frame or hollow core steel with steel frame doors, and the continuation of the recently resurfaced EPDM covered wood framed roof. The interior would be gutted to its floors, walls and ceilings, but maintain the same layout. The structure will remain the same with only the finish being replaced. It will have tiled, carpeted and hardwood floors, wood framed partitioning, finished sheetrock walls and finished sheetrock ceilings. New mechanical systems including electrical, heating and air conditioning components (which will be individually metered) will be built. Each unit will have full bathrooms and kitchens. The kitchens and bathrooms will reflect a modern Class A design incorporating the prospective expectation of granite countertops, stainless steel appliances, etc.

Church Building & Exterior :(Estimated Completion:: TBD)

No major changes are expected for the Church Building. This building is purpose built as a church. We are seeking a non-for-profit or historical organization use to which the building could be inhabited. There is the possibility of using the existing structure and layout to accommodate either small businesses (such as art studios) or the possibility of utilizing the space for events. The main constructive efforts will be focused around the Schoolhouse, but if the opportunity arises to utilize the church for other use that would not damage the integrity of the Church, we will explore these opportunities.

The parking lot which will remain and be resurfaced. The aesthetic improvements will have the advantage of a large area once used by the church as a contemplation garden and may be redone as sculpture garden or park.

(Extension of #6)

List proposed project costs, in detail.

The following is a breakdown of general costs to re-develop the school building

GSF:

Hard Costs - School Building		18-20 units
Demo / Clean-Up	\$	20,000
Interior Painting	\$	45,000
Kitchen + Bath	\$	150,000
Framing & Drywall	\$	100,000
Exterior / Roofing	\$	10,000
Security System & Lobby & Wifi	\$	30,000
Appliances Package (Fridge, Stove, Micro)	\$	30,000
Fire Sprinkler / Safety	\$	50,000
Tile & Flooring, Misc Material	\$	100,000
Landscaping	\$	10,000
Electrical, HVAC, Plumbing	\$	270,000
Contingency	\$	50,000
Labor & Contractor Overhead	\$	135,000
Total Hard Costs	\$	1,000,000
Total Softs Costs (includes pre-development, architectural, engineering, holding & operating costs, historic tax credit application)		\$ 250,000
TOTAL Hard & Soft Costs		\$ 1,250,000

[Extension of #8]

Provide any additional factors you would like City Council to consider *(use separate sheet if necessary)*

For the Pulaski Commons, we intend to maintain and uphold both the historical & architectural significance, and restore the importance to the community the property has served. OV 147 Market LLC intends to be a respectful and considerate steward of this property and this project. We anticipate a redevelopment that will better for the City of Torrington and increase the tax base, both in the increased revenue the City will generate from the improved project at the end of the abatement, but in maintaining/attracting and capturing tenants interested in staying at the residents. As part of our commitment to the preserving the history, we are currently in the early stages of nominating the former St Mary's Church onto the national registry.

We intend to invest substantially into negative headwinds of a rising interest rate environment, and rising construction costs that plagued by supply chain issues and without a tax abatement have the very real potential from our projections to stymie and potentially fully stall the project from going forward.

The main goals of this project are to revitalize the aesthetics of this vacant and recently deteriorating property (landscaping, building exteriors, frontage, etc.) as well as repurpose the existing structures into places that will better the greater community. Our vision is to provide additional, higher end housing options to the municipality, addressing the lack of housing supply Torrington has experienced in recent years. Additionally, as we have done in recent years, we continue to hire local subcontractors and grounds-people to provide part-time and recurring jobs, as well as revitalize the church as a faith-based, artistic, and or incubator space (in later stages) so that it may be enjoyed by the people of Torrington as it was for so many years.

Unique ID: **90435** **ESTIMATE**

TORRINGTON2019

Location: **85 PULASKI ST**

Unit

911 Address:

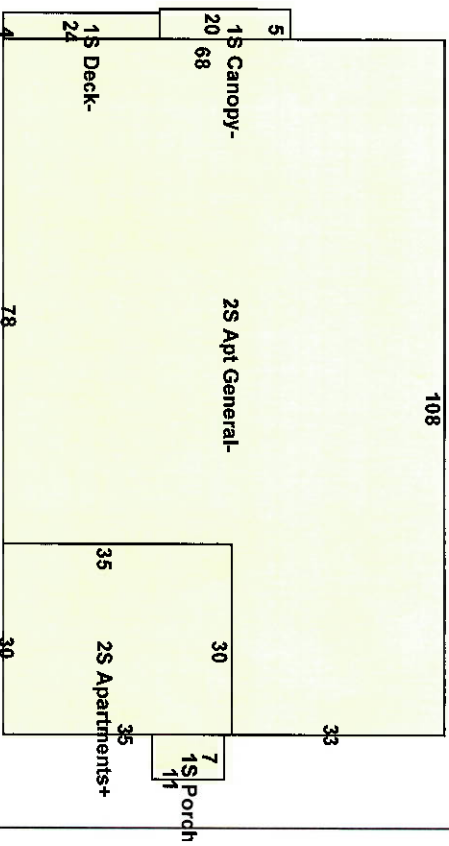
Map/Block/Lot: **108/016/001**

APARTMENTS

Segment	Use	Units	Area	Comments
Multi-Family	Apartments	20	14,688	

Commercial Building Description		Item	Area/Cty	Value
Building Use	Apartments Gene			
Class	Masonry & Wood	Base Value	14,688	1,522,059
Overall Condition	Good	Basement_Type - Full	1,050	12,600
Construction Quality	Average	Feature 1 - Wet Sprinkler	68	204
Stories	2.00	Value Before Depr.	0	1,534,863
Year Built	1960	Depr/Adjust Amount	0	813,477
Percent Complete	100	Final Value (After Depr)	0	721,385
GLA	14,688			
Basement Area	1,050			
Basement Finished Area	0			
HVAC		Grade Factor	0	Physical Depreciation % 33
Heating	Hot Water	Functional Depreciation %	0	Economical Depreciation % 20
Fuel	Oil	Attached Component Computations		
Cooling %	0	Type	Yr Blt	Condition
Interior		Canopy	1920 Average	100
Floors	Vinyl	Wood Deck	2015 Average	96
Walls	Drywall	Open Porch	2015 Average	77
Wall Height	30			1,756
Exterior				
Exterior Walls B.V. Solid				
Roof Cover Arch Shingles				
Special Features				
Wet Sprinkler				
68				
Total Building Value		Type	Year	Condition
Building 2		Canopy	1960	Average
Valuation Method		Area/Cty	Value	
		176	1,475	

70% 504,969



Detached Component Computations

Type	Year	Condition	Area/Cty	Value
Canopy	1960	Average	176	1,475

Unique ID: 90435

ESTIMATE

TORRINGTON2019

Card No: 1 of 2

Location:		85 PULASKI ST		Unit		Map/Block/Lot:		108/016/001		Date Printed		01/31/2023	
911 Address						Zone R6		Nbrhood 3A		Last Update		01/31/2023	
Owner Of Record													
OV 147 MARKET LLC		NEW YORK, NY		10011		Volume / Page		Date		Sales Type		Valid	
234 10TH AVE						1375 0341		Sep/30/2022		Warranty Deed		YES	
Prior Owner History													
GABHALTAIS TEAGHLAIGH LLC						1291 0760		Jul/19/2019		Warranty Deed		NO	
ST MARY OF CZESTOCHOWA CHURCH						0079 0628						NO	
Reason For Change													
Permit Number		Date		Cost		New Hse		Status		% Comp		CO Issued	
19-1009 COC		Jul/10/2019		0		No		Closed		100		No	
14-2637		Dec/11/2014		2,980		No		Closed		100		No	
14-1390		Jul/17/2014		18,000		No		Closed		100		No	
10-123		Feb/17/2010		52,000		No		Closed		100		No	
01-278		Aug/09/2001		5,000		No		Closed		100		No	
98-309		Sep/24/1998		1,540		No		Closed		100		No	
State Item Codes													
Census		Tract 3		Code		Quantity		Value		Code		Quantity	
Dev Map		Dev Lot		21		1.50		58,590				Total Land Value	
Exempt				22		1.00		121,780				Total Building Value	
Inspection Date		06/09/2015		23		1.00		504,980				Total Outbuilding Value	
Inspector		JF		25		2.00		9,980				Total Market Value	
Inspection Action		C										993,329	
Influence Factors													
Land Type		Acres		490		Rate		Adj		Influence		Reason	
Primary Site		1.50		0.00		62,000		0.90		0		83,700	
Total		1.50								83,700			
Assessment History (Prior Years As Of Oct 1)													
Current		2021		2020		2019		2018		490 Appraised Totals		Value	
Land		58,590		58,590		58,590		56,700		Pasture		Value	
Building		626,760		282,600		1,572,280		1,592,890		Swamp/Ledge/Scrub		Value	
Outbuilding		9,980		8,810		8,810		9,350		Farm/Woodland		Value	
Total		695,330		350,000		1,639,680		1,658,940		Forest		Value	
Comments													
Jan/31/2023 01 31 2023 THIS IS PROPERTY CARD IS AN ESTIMATE OF PULASKI COMMONS PROPOSED RENOVATIONS TD													
Jan/06/2023 1/6/2023 1380/1002 VARIANCE													
Oct/13/2021 CHANGE PER COURT STIPULATION - DOCKET# HHB-CV21-6067484-S 10-07-2021													
Apr/06/2021 2020 GL - BoAA NO CHANGE - TD													
Mar/09/2021 3/9/2021 CHG MAIL ADD PER OWNER-EAP													
May/27/2020 20- SWITCHED PICTURES- GS													

THIS DOCUMENT WAS PREPARED FOR ASSESSMENT PURPOSES ONLY **Revaluation Date: 10/01/2019**

Unique ID: 90435 ESTIMATE

TORRINGTON2019

NO RENOVATIONS TO

BUILDING 1 (a/k/a CHURCH)

Location:		85 PULASKI ST		Unit
911 Address:				
Map/Block/Lot:		108/016/001		
Segment	Use	Units	Area	Comments
Church	Church - Chapel		7,120	ST MARY OF CZESTOCHOWA CHURCH
Commercial Building Description				
Building Use	Church - Sanctu			
Class	Masonry & Wood			
Overall Condition	Average			
Construction Quality	Average			
Stories	1.00			
Year Built	1920			
Percent Complete	100			
GLA	7,120			
Basement				
Basement Area	7,120			
Basement Finished Area	7,120			
HVAC				
Heating	Hot Water			
Fuel	Oil			
Cooling %	0			
Interior				
Floors	Hardwood Carpet			
Walls	Plaster			
Wall Height	40			
Exterior				
Exterior Walls	Stone			
Roof Cover	Asphalt			
Special Features				
Detached Component Computations				
Type	Year	Condition	Area/Qty	Value
Paving	1999	Good	14,500	12,789
Total Building Value				
Building	1	Value	170,229	
Valuation Method				

70% 119,160

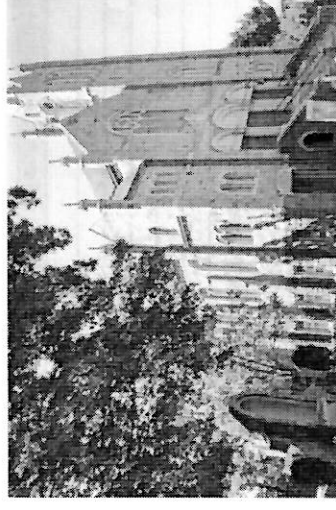
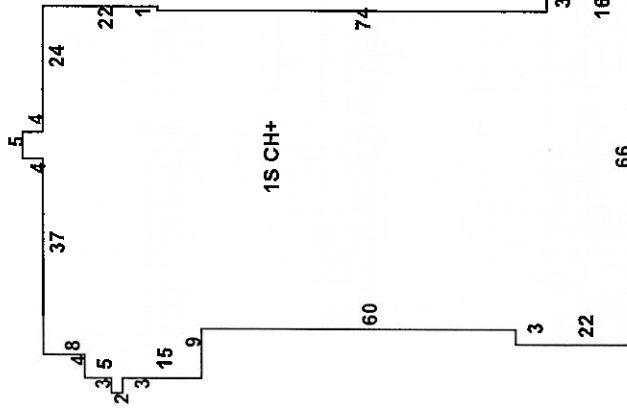
15 CH+

Location:		85 PULASKI ST		Unit	Map/Block/Lot:		108/016/001		Date Printed	01/25/2023	
911 Address					Zone	R6	Nbrhood	3A	Last Update	10/12/2022	
<div>Owner Of Record</div>											
OV 147 MARKET LLC		NEW YORK , NY		10011	Volume / Page		Date		Sales Type	Valid	Selling Price
234 10TH AVE					1375 0341		Sep/30/2022		Warranty Deed	YES	450,000
<div>Prior Owner History</div>											
GABHALTAIS TEAGHLAIGH LLC					1291 0760		Jul/19/2019		Warranty Deed	NO	376,000
ST MARY OF CZESTOCHOWA CHURCH					0079 0628					NO	0
Permit Number	Date	Cost	New Hse	Status	% Comp	CO Issued	Est Completion	Reason For Change			
19-1009 COC	Jul/10/2019	0	No	Closed	100	No	Jul/18/2019	CERT OF COMPL-REPL WINDOWS/DOOR/RAILS/SIGN & POSTS			
14-2637	Dec/11/2014	2,980	No	Closed	100	No	Jan/12/2015	INSTALL SIGN WITH POSTS			
14-1390	Jul/17/2014	18,000	No	Closed	100	No	Jul/21/2014	NEW RAILS ON EXT STAIRS IN BACK/ADA CODE			
10-123	Feb/17/2010	52,000	No	Closed	100	No	Jun/08/2010	REPLC WINDOWS & ENTRY DOOR			
01-278	Aug/09/2001	5,000	No	Closed	100	No		ALT-2 INT/CLOSET DOORS			
98-309	Sep/24/1998	1,540	No	Closed	100	No		CONV UTILITY TO KITCH AREA-SCHOOL			
<div>State Item Codes</div>											
Census	Tract	3	Code	Quantity	Value	Code	Quantity	Value	Appraised Value Without 490		
Dev Map	Dev Lot		21	1.50	58,590				Total Land Value	83,700	83,700
Exempt			22	2.00	282,600				Total Building Value	403,714	
Inspection Date	06/09/2015		25	2.00	8,810				Total Outbuilding Value	12,589	
Inspector	JF								Total Market Value	500,003	500,003
Inspection Action	C								Influence Factors		
Land Type	Acres	490	Rate	Adj	Influence	Total Value	Land Type	Influence	Reason	Comment	
Primary Site	1.50	0.00	62,000	0.90	0	83,700					
<div>Assessment History (Prior Years As Of Oct 1)</div>											
Total	1.50	83,700									
<div>490 Appraised Totals</div>											
Land	Building	Outbuilding	Total	Current	2021	2020	2019	2018	Acres	Value	Acres Value
	58,590	282,600	8,810	350,000	58,590	282,600	1,572,280	56,700	Tillable A	Pasture	
								1,592,890	Tillable B	Swamp/Ledge/Scrub	
								9,350	Tillable C	Farm/Woodland	
								1,639,680	Tillable D	Forest	
								1,658,940	Orchard	Totals	
<div>Comments</div>											
Jan/06/2023 1/6/2023 1380/1002 VARIANCE											
Oct/13/2021 CHANGE PER COURT STIPULATION - DOCKET# HHB-CV21-6067484-S 10-07-2021											
Apr/06/2021 2020 GL - BoAA NO CHANGE - TD											
Mar/09/2021 3/9/2021 CHG MAIL ADD PER OWNER-EAP											
May/27/2020 20- SWITCHED PICTURES- GS											
Feb/22/2018 18- COR LAND SIZE TO 1.5 AC- GS											

Unique ID: 90435

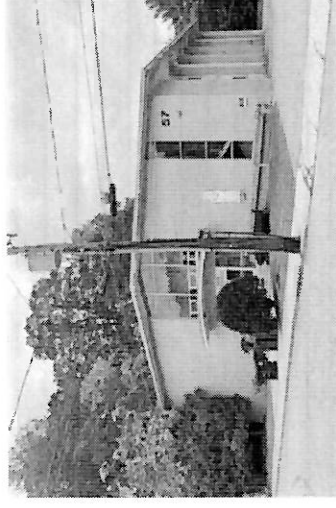
TORRINGTON2019

Location:		85 PULASKI ST		Unit	
911 Address:					
Map/Block/Lot:		108/016/001			
Segment	Use	Units	Area	Comments	
Church	Church - Chapel		7,120	ST MARY OF CZESTOCHOWA CHURCH	
Commercial Building Description		Item			
Building Use	Church - Sanctu				
Class	Masonry & Wood				
Overall Condition	Average				
Construction Quality	Average				
Stories	1.00				
Year Built	1920				
Percent Complete	100				
GLA	7,120				
Basement					
Basement Area	7,120				
Basement Finished Area	7,120				
		Attached Component Computations			
Grade Factor	0	Physical Depreciation %	0	Area/Qty	Value
Functional Depreciation %	0	Economical Depreciation %	0		
		Type	Yr Blt	Condition	Area/Qty
Heating	Hot Water				
Fuel	Oil				
Cooling %	0				
Interior					
Floors	Hardwood Carpet				
Walls	Plaster				
Wall Height	40				
Exterior					
Exterior Walls	Stone				
Roof Cover	Asphalt				
Special Features					
Total Building Value					
Building	1	Value	170,229		
Valuation Method					
		Type	Year	Condition	Area/Qty
		Paving	1999	Average	14,500



Unique ID: 90435

Location: 85 PULASKI ST		Unit	
911 Address:			
Map/Block/Lot: 108/016/001			
Segment	Use	Units	Comments
School	Elem Small	14,688	
Commercial Building Description		Item	Area/Qty Value
Building Use	Elementary Scho		
Class	Masonry & Wood		
Overall Condition	Average		
Construction Quality	Average		
Stories	2.00		
Year Built	1960		
Percent Complete	100		
GLA	14,688		
Basement			
Basement Area	2,040		
Basement Finished Area	0		
HVAC			
Heating	Hot Water		
Fuel	Oil		
Cooling %	0		
Interior			
Floors	Vinyl		
Walls	Masonry		
Wall Height	30		
Exterior			
Exterior Walls	B.V. Solid		
Roof Cover	Asphalt		
Special Features			
Total Building Value			
Building	2 Value		233,485
Valuation Method			



		Detail	
Type	Year	Condition	Area/Ql
Canopy	1960	Average	176

Requested Letters

- Letter from City Planner stating project is approved or appears feasible (Jeremy Leifert 860-489-2221)

Attached

- Letter from the Tax Collector stating the taxes on this property are current (Launa Goslee 860-489-2209)

Attached

- Letter from Tax Assessor stating the current tax assessment, project tax assessment and amount of increased assessment for which abatement is requested. The Assessor will need A copy of your Site Plan, Building Plans & Mechanical specs in order to provide this information. (Tom DiStasio 860-489-2222)

Requested & In Progress

- Letter from Economic Development Director that includes a cost/benefit analysis of the tax abatement

In Progress



Launa M. Goslee, CCMC, Tax Collector
City of Torrington
140 Main Street
Torrington, CT 06790
Phone 860.489.2209
Fax 860.496.5905
taxcollector@torringtonct.org

January 10, 2023

OV 147 MARKET LLC
234 10th Ave
New York, NY 10011

To whom it may concern:

The property taxes and sewer usage fees at 85 PULASKI STREET , unique ID #90435, Torrington, CT are current as of the date of this letter.

Any further questions please do not hesitate to contact me at the above referenced phone number.

Sincerely,

Launa M. Goslee, CCMC
Tax Collector

CITY OF TORRINGTON

LAND USE OFFICE
140 Main Street • City Hall
Torrington, CT 06790-5245



Phone: (860) 489-2221
Fax: (860) 496-5928
www.torringtonct.org

January 20, 2023

CERTIFIED MAIL RETURN RECEIPT

Braham Berg
234 10th Avenue
PO Box 20178
New York, NY 10011

Re: Special Exception 22-11 and Site Plan 1433
Applicant: Braham Berg
Location: 85 Pulaski Street
Proposal: Change of use to multi-family residential (former church use)

Braham Berg:

This is to confirm that at its January 18, 2023 meeting the Planning and Zoning Commission approved the above referenced proposal with the following conditions and recommendations:

1. In accordance with comments from Nate Nardi-Cyrus, Assistant Planner outlined in his January 6, 2023 email to the City Planner, any trees or shrubs removed from the site shall be replaced.
2. Information shall be provided in the zoning table on unit density on the final plans to show compliance with section 6.8.2 of the regulations.
3. The applicant shall make plan corrections based on comments and plan markups from Paul Kundzins, City Engineer outlined in his January 10, 2023 email to the City Planner. The updated plan shall be submitted and obtain a positive review from the City Engineer and be filed in accordance with condition #9 below prior to issuance of zoning permits for the project.
4. In accordance with comments from the City Engineer and Police Traffic Sergeant above, sidewalk repairs on sidewalks fronting the property on Forest Court and Pulaski Street are required by the applicant. Such work shall be completed or bonded prior to the issuance of zoning permits for the project.
5. The applicant shall follow comments of Fire Marshal Edward Bascetta outlined in his letter to the City Planner dated January 12, 2023.
6. The applicant shall follow comments of Ray Drew, Public Works Director outlined in his January 5, 2023 email to the City Planner regarding sewer discharge permitting.


Braham Berg
Page 2 of 2
January 20, 2023

7. The applicant shall follow building permitting requirements outlined by Building Official Kevin Gillette in his January 10, 2023 letter to the City Planner
8. The Planning and Zoning Commission finds that the proposed use, location and site design is compatible with the neighborhood and surrounding uses and is protective of the health, safety and welfare of the citizens of the City of Torrington pending compliance with all approval conditions.
9. Zoning permits are required prior to alteration or use of the site for the proposed use.
10. In accordance with section 8.4.3 and 8.4.6 of the zoning regulations, the following shall be submitted to the City Planner:
 - a. Two paper copies of the full approved site plan including the engineer's stamp and chairman's signature box.
 - b. One mylar copy of site plan sheet for filing with the City Clerk in accordance with section 8.4.3.P of the zoning regulations. The mylar sheet shall bear a chairman's signature box, a copy of the approval letter from the commission, an engineers' seal and live ink stamp.
 - c. Mylar sheets shall be filed by the applicant with the City Clerk after the signature of the Chairman and prior to the approval of zoning permits to begin construction or site work.

Enclosed is the Certificate of Special Exception. Please take this Certificate to the Torrington City Clerk's Office and have it filed on the Torrington Land Records and deliver a photocopy of the recorded Certificate to the City Planner's Office.

If you have any questions regarding this matter, please contact me.

Sincerely,



Jeremy Leifert, AICP
City Planner

cc: OV 147 Market LLC

CITY OF TORRINGTON

LAND USE OFFICE
140 Main Street • City Hall
Torrington, CT 06790-5245



Phone: (860) 489-2221
Fax: (860) 496-5928
www.torringtonct.org

CITY OF TORRINGTON CERTIFICATION OF SPECIAL EXCEPTION

1. Applicant's Name: Braham Berg
2. Applicant's Address: 234 10th Avenue, PO Box 20178, New York, NY 10011
3. Address of the Property: 85 Pulaski Street, Torrington, CT
4. Owner of Record: OV 147 Market LLC
5. Owner's Address: 234 10th Avenue, PO Box 20178, New York, NY 10011
6. Date of Special Exception: January 18, 2023
7. Nature of Special Exception: Change of use to multi-family residential
(former church use)
8. Section(s) of the Regulations: 6.8
9. Conditions attached to the approval:
 1. In accordance with comments from Nate Nardi-Cyrus, Assistant Planner outlined in his January 6, 2023 email to the City Planner, any trees or shrubs removed from the site shall be replaced.
 2. Information shall be provided in the zoning table on unit density on the final plans to show compliance with section 6.8.2 of the regulations.
 3. The applicant shall make plan corrections based on comments and plan markups from Paul Kundzins, City Engineer outlined in his January 10, 2023 email to the City Planner. The updated plan shall be submitted and obtain a positive review from the City Engineer and be filed in accordance with condition #9 below prior to issuance of zoning permits for the project.
 4. In accordance with comments from the City Engineer and Police Traffic Sergeant above, sidewalk repairs on sidewalks fronting the property on Forest Court and Pulaski Street are required by the applicant. Such work shall be completed or bonded prior to the issuance of zoning permits for the project.

5. The applicant shall follow comments of Fire Marshal Edward Bascetta outlined in his letter to the City Planner dated January 12, 2023.
6. The applicant shall follow comments of Ray Drew, Public Works Director outlined in his January 5, 2023 email to the City Planner regarding sewer discharge permitting.
7. The applicant shall follow building permitting requirements outlined by Building Official Kevin Gillette in his January 10, 2023 letter to the City Planner
8. The Planning and Zoning Commission finds that the proposed use, location and site design is compatible with the neighborhood and surrounding uses and is protective of the health, safety and welfare of the citizens of the City of Torrington pending compliance with all approval conditions.
9. Zoning permits are required prior to alteration or use of the site for the proposed use.
10. In accordance with section 8.4.3 and 8.4.6 of the zoning regulations, the following shall be submitted to the City Planner:
 - a. Two paper copies of the full approved site plan including the engineer's stamp and chairman's signature box.
 - b. One mylar copy of site plan sheet for filing with the City Clerk in accordance with section 8.4.3.P of the zoning regulations. The mylar sheet shall bear a chairman's signature box, a copy of the approval letter from the commission, an engineers' seal and live ink stamp.
 - c. Mylar sheets shall be filed by the applicant with the City Clerk after the signature of the Chairman and prior to the approval of zoning permits to begin construction or site work.

THIS CERTIFICATE IS FILED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 8-3D OF THE CONNECTICUT GENERAL STATUTES.



Jeremy Leifert, AICP
City Planner

CERTIFICATE OF SPECIAL EXCEPTION
CITY OF TORRINGTON
Braham Berg, 85 Pulaski Street, Torrington, CT
Page 2 of 2

CITY OF TORRINGTON



Land Use Office
Jeremy Leifert, AICP, City Planner
140 Main Street • City Hall
Torrington, CT 06790-5245
E-mail: Jeremy_leifert@torringtonct.org

Phone: (860) 489-2221
Fax: (860) 496-5928

City of Torrington website: www.torringtonct.org

To: Planning & Zoning Commission
From: Jeremy Leifert, AICP, City Planner *JL*
Date: January 18, 2023
RE: Special Exception #22-11 and Site Plan #1433, 85 Pulaski Street – change of use for vacant school building on the property to multi-family use and minor improvements to exterior areas and parking.

In reviewing the application, plans and documents submitted, I have the following comments:

Braham Berg has filed an application for a property located at 85 Pulaski Street - Tax Assessor's Map 133 Block 012 Lot 007, Tax Assessor's Map 108 Block 016 Lot 001 to request commission approval to change the use of the former school building on the property to a multi-family residential building containing 20 apartment units. The applicant also proposes minor work to the property exterior including striping of the existing parking area and landscaping improvements.

The property is owned by OV 147 Market LLC, is 1.5 acres (65,340 sf) in area and is located in an R6 residential zone. A previous Site Plan modification was approved in October 2008 for demolition of a former rectory building and garage on the site and the addition of 5 parking spaces. The work has been completed related to this modification. The proposed multi-family dwelling use is a conforming use in the R6 zone by special exception under zoning regulations section 3.1, Table of Permitted Uses, subsection 1.30.

An A-2 quality property survey and site plan has been submitted titled "Site Plan prepared for OV Pulaski Commons, LLC, 85 Pulaski Street, Torrington, Connecticut" by Hrica Associates, LLC, Litchfield, Connecticut. Dated November 17, 2022. 1 Sheet. Floor plans for the proposed apartment layout have also been submitted. According to the tax assessor's property card, the building was constructed in 1960 and is in a legal non-conforming structure due to the encroachment of the existing building into the 25-foot front yard. The building is compliant with the minimum 8-foot side yard.

The proposed change in use to a multi-family dwelling use requires an expanded side yard setback of 30 feet in accordance with section 6.8.6 of the regulations. This change in use would result in the introduction of a non-conformity with respect to the side yard setback. A zoning variance is required to be obtained to allow for this non-conforming setback.

The regulations in section 6.8.2 allow for up to 15 units per acre in the R6 zone for multi-family use. The proposal complies with other regulations in section 6.8 governing minimum lot area, lot width, building height and minimum parking.

Staff has met previously with the property owner and engineer to discuss the project prior to this meeting.

Other Items of note:

1. No major changes to the exterior of the existing building or site are proposed
2. In my opinion, the proposed use, location and site design is compatible with the neighborhood and surrounding uses in accordance with considerations in section 8.2 – Special Exception, with the exception of those items to be addressed as part of a conditional approval.
3. New proposed locations for previously undesignated handicapped accessible parking spaces shall meet the requirement 5.13.4.D.4 of no more than 2% maximum slope. The applicant shall provide information to show conformity.
4. Information is missing in the zoning compliance table in the site plan regarding unit density in the R6 zone. Information should be added to show compliance with section 6.8.2.

Other Staff Comments:

Economic Development: Rista Malanca, AICP, Torrington Economic Development Director has not offered comments on this application.

Assistant City Planner Review: Nate Nardi-Cyrus, Assistant City Planner, in an email to me dated January 6, 2023, offered the following comments on the plans:

General – *The applicant has received a 26.2' side yard variance to allow a 3.8' side yard setback for a multi-family dwelling from the Zoning Board of Appeals on December 12th, 2022. A Certificate of Variance was filed on the land record by the applicant on January 6, 2023.*

Wetlands – *There are no regulated wetlands or watercourses on or in the vicinity of the subject property that would require wetlands review for this proposal. Therefore, no wetlands permits are required prior to this application. This constitutes a favorable wetlands report for this application.*

Landscaping – *If possible, retain all large trees shown on the plan. Along Forest Court, show smaller trees and shrubs to be retained on plan. If any of the existing tree and shrub plantings along Forest Court are to be removed, show on plan. Additional plantings might be required if there are any removals.*

Lighting – *No lighting is shown on the site plan. New lighting must comply with section 5.17 of the City zoning code, including the use of full cut-off fixtures. We encourage the use of products approved by the International Dark-Sky Association: <https://www.darksky.org/our-work/lighting/lighting-for-industry/fsa/fsa-products/>.*

Signage – *There are no new signs proposed as part of this application. A sign permit shall be required before installing any signage in accordance with section 5.15 of the zoning regulations.*

Conservation – *This application was not referred to the Conservation Commission for review.*

Architectural Review Committee: This application was not refereed to the ARC for comment.

Torrington Area Health District: TAHD offered no comments on the plans.

Engineering: Paul Kundzins, City Engineer in an email to me dated January 10, 2023, submitted the following items to be addressed by the applicants' engineer.

1. *Letter from professional engineer registered in Connecticut stating that the existing storm drainage on the site existing is functioning and that there are no adverse effects to adjacent properties from storm runoff from the property.*
2. *Show where RWL from roof of Existing building connect to.*
3. *Confirm that proposed accessible parking areas are ADA compliant for slope (appears to be ~3%).*
4. *Show painted cross walk from end of ramp at building to accessible parking areas.*
5. *Confirm front door landing area is ADA compliant (for door swing, slope and all other ADA requirements). (consult building codes and Torrington Building Dept.)*
6. *Confirm existing concrete ramp from front door to parking lot is ADA compliant (railing height/rail gap opening, slope and all other ADA requirements). (consult building codes and Torrington Building Dept.)*
7. *Confirm existing sidewalk on Forest Ct and Pulaski Street are ADA compliant (i.e. cross slope, surface condition being uneven, changes in level, openings in concrete or asphalt surfaces). Non-conforming sidewalks (including curbing) will be required to be replaced. Compliant crosswalk ramps may be required for crossing Forest Ct at Pulaski St. Construction details to be coordinated with the City Engineering Dept.*

Police Traffic: Police Traffic Sergeant Dustin Baldis, in an email to me dated January 5, 2023, offered the following comments on the plans:

In looking at the property in whole for this project, I review the plans but also took a drive out to the property. My only comment is I see that the sidewalk which abuts Forest Court and Pulaski Street is in very poor condition. There is asphalt over the top of the sidewalk at church property which is suffering from large cracks and is starting to break away in some places, which then switches to concrete along a retaining wall as it heads east towards Forest Court. There is one piece of the sidewalk there that is almost complete cracked through and broken with weeds growing through it. The Forest Court side should also be evaluated as its degraded condition should be repaired as it will anticipate use again with housing and pedestrian traffic. Lastly there needs to be consistent maintenance on this property as the snow removal requirements have not been met in the last few years for the sidewalks. Thank you

Fire: Fire Marshal Edward Bascetta has not submitted comments regarding this application.

WPCA: Ray Drew, Public Works Director, in an email to me dated January 5, 2023, offered the following comments:

1. *Applicant shall submit application for Sewer Discharge Permit.*
2. *Capacity Reserve Fee shall be paid prior to commencement of discharge.*
3. *Owner shall certify that there are no discharges of storm water either directly or indirectly into the sanitary sewer system from the building. Storm water discharges shall comply with City of Torrington Department of Engineering Standards.*

- a. *Owner/Applicant shall contact WPCA to inspect building for compliance with chapter 170-14 of Torrington Code. Contact James Hilton 860-485-9166 to schedule inspection.*
4. *Occupants shall use Best Management Practices to minimize the amount of fats, oil and greases that are discharged to the public sewer.*
5. *Occupants shall use Best Management Practices to minimize the use of phosphate containing cleaners and detergents.*
6. *Submit copies of any Federal or State permits related to wastewater discharges.*
7. *For additional information or questions contact WPCA (860) 485-9166*

Building: Building Official Kevin Gillette, in an email to me dated January 10, 2023, offered the following comments:

Please provide the following information, as it pertains, when applying for the required permits:

- *Complete sets of IBC Section 107 Required Construction Documents as applicable, prepared by a Registered Design Professional, for all proposed work to be performed*
- *Complete Life Safety Plan with Occupant Load and Occupancy Classification*
- *Complete Plan for Accessibility including details for Accessible Dwelling Units and Accessible Routes including Parking and Passenger Loading Facilities*
- *Complete Mechanical, Electrical and Plumbing Plans for all proposed work to be performed*
- *Complete Sprinkler and Fire Alarm Plans*

Subject to review and on-site correction. It shall be the duty of the permit holder or their agent to notify the Building Official that such work is ready for inspection.

Conclusion: Per review and comment by City staff, I recommend approval of Special Exception 22-11 and Site Plan #1433, 85 Pulaski Street for a change of use for vacant school building on the property to multi-family use and minor improvements to exterior areas and parking, with the following approval conditions and recommendations:

1. In accordance with comments from Nate Nardi-Cyrus, Assistant Planner outlined in his January 6, 2023 email to the City Planner, any trees or shrubs removed from the site shall be replaced.
2. Information shall be provided in the zoning table on unit density on the final plans to show compliance with section 6.8.2 of the regulations.
3. The applicant shall make plan corrections based on comments and plan markups from Paul Kundzins, City Engineer outlined in his January 10, 2023 email to the City Planner. The updated plan shall be submitted and obtain a positive review from the City Engineer and be filed in accordance with condition #9 below prior to issuance of zoning permits for the project.
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6. The applicant shall follow building permitting requirements outlined by Building Official Kevin Gillette in his January 10, 2023 letter to the City Planner
7. The Planning and Zoning Commission finds that the proposed use, location and site design is compatible with the neighborhood and surrounding uses and is protective of the health, safety and welfare of the citizens of the City of Torrington pending compliance with all approval conditions.
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 - c. Mylar sheets shall be filed by the applicant with the City Clerk after the signature of the Chairman and prior to the approval of zoning permits to begin construction or site work.

END OF MEMO

Cc: Braham Berg, OV 147 Market LLC

SHEET NOTES

**PULASKI
COMMONS**
35 PULASKI STREET
TORRINGTON, CONNECTICUT

GENERAL NOTES

1. (E) STRUCTURAL SHELL AND EXTERIOR TO REMAIN AS IS. DIMENSIONS TO BE V.I.F.
2. PLANS ARE PRELIMINARY AND SUBJECT TO CHANGE PRIOR TO PERMITS

Sheet: 0001

LO: 001

**NOT FOR
CONSTRUCTION**

Project Name:
PULASKI COMMONS

Project Number:
001

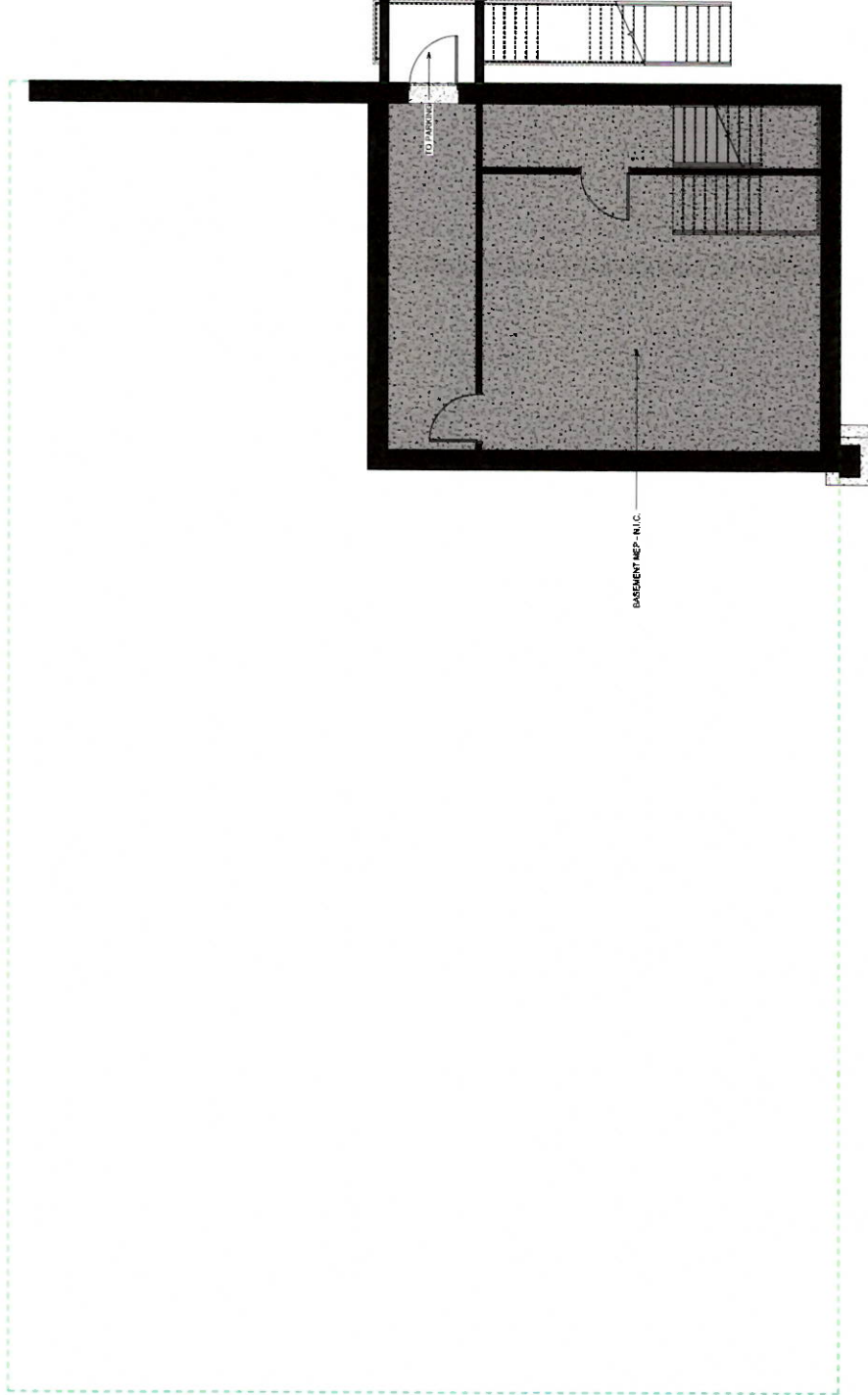
Description:
BASEMENT PLAN

Scale:
1/4" = 1'-0"



A100

KEY PLAN



① BASEMENT PLAN
1/4" = 1'-0"

**PULASKI
COMMONS**
85 PULASKI STREET
TORRINGTON, CONNECTICUT

Figure 1 | **Diagram of the study design.**

Δ Date	Date completed
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**NOT FOR
CONSTRUCTION**

Project Manager
PULASKI COMMONS

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GROUND FLOOR PLAN

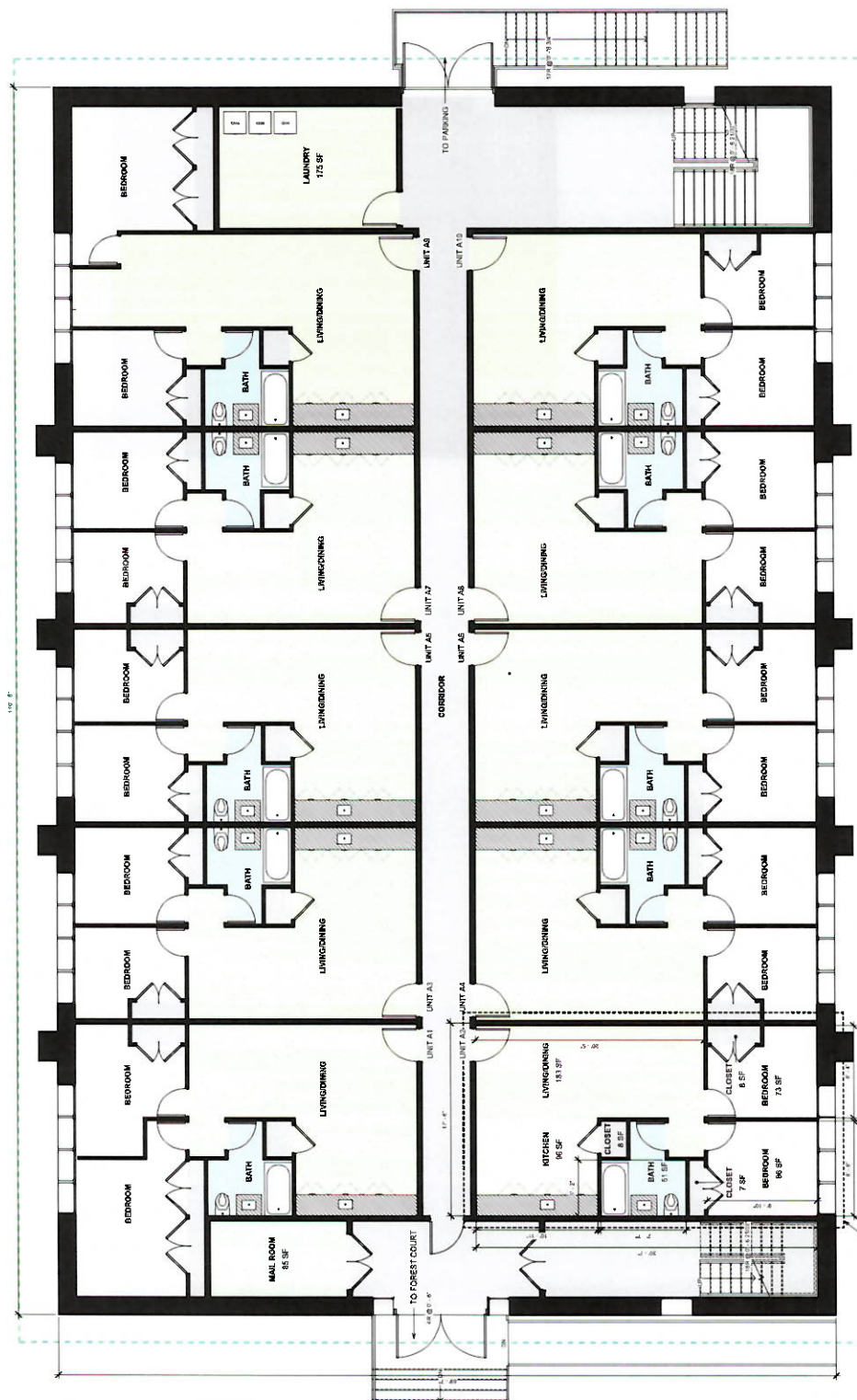
Figure 1

A101

GENERAL NOTES

1. (E) STRUCTURAL SHELL AND EXTERIOR TO REMAIN AS IS.
2. DIMENSIONS TO BE V.I.F.
3. PLANS ARE PRELIMINARY AND SUBJECT TO CHANGES PRIOR TO PERMITS

KEY PLAN



UNIT INFORMATION

LEVEL 01		LEVEL 02	
UNIT	SF	UNIT	SF
A1	615 sf	B1	615 sf
A2	525 sf	B2	525 sf
A3	525 sf	B3	525 sf
A4	525 sf	B4	525 sf
A5	525 sf	B5	525 sf
A6	525 sf	B6	525 sf
A7	525 sf	B7	525 sf
AB	525 sf	B8	525 sf
AB	525 sf	B9	670 sf
A9	670 sf	B10	670 sf
A10	525 sf		

ROOF OVERHANG ABOVE

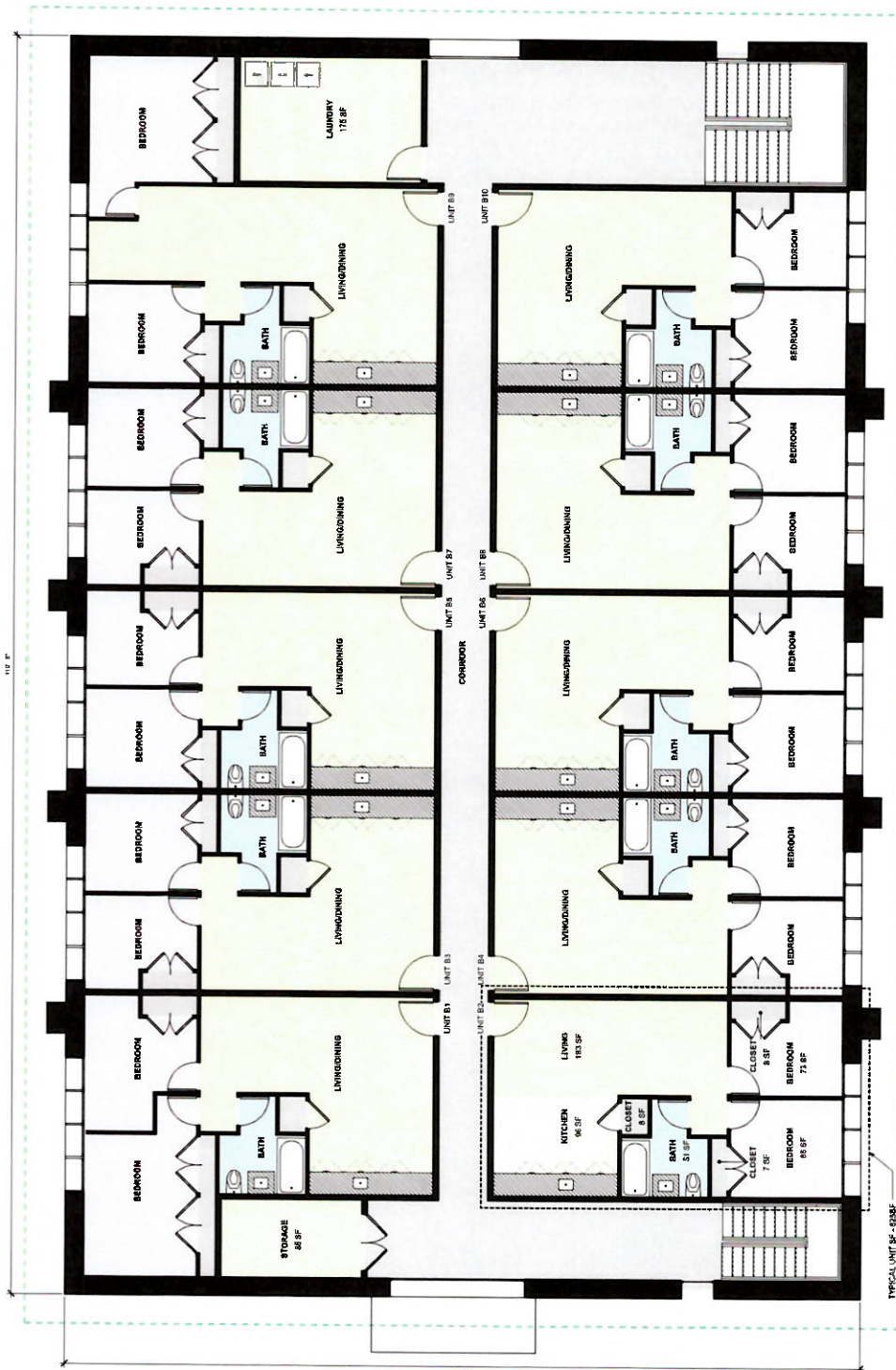
GROUND FLOOR PLAN

SHEET NOTES

GENERAL NOTES

- 3 PLANS ARE PRELIMINARY
AND SUBJECT TO
CHANGES PRIOR TO PERMITS

KEY PLAN



UNIT INFORMATION

LEVEL 01	UNIT	5F
A1	B15 sf	
A2	B25 sf	
A3	B35 sf	
A4	B45 sf	
A5	B55 sf	
A6	B65 sf	
A7	B75 sf	
A8	B85 sf	
A9	B95 sf	
A10	B105 sf	

TYPICAL UNIT SF - 62385

ROOF OVERHANG ABOVE

① SECOND FLOOR PLAN