

# MODIFICATIONS AND IMPROVEMENTS TO SAM'S MART 861 NEW HARWINTON ROAD (CT RTE #4) TORRINGTON, CONNECTICUT JUNE 21, 2021

## LEGEND

### EXISTING

2	BOUNDARY
10	MINOR CONTOUR
SB	SETBACK
S	SAN. SEWER
SFM	SAN. FORCE MAIN
S-L	SAN. LATERAL
W	WATER MAIN
W-S	WATER SERVICE
-----	STORM
OHW	TELEPHONE, ELECT. COMMUNICATION
⊙	SAN. MANHOLE
⊙	STORM DRAINAGE MANHOLE
⊙	UTILITY POLE
⊙	TYPE CL-CB
⊙	TYPE C-CB
⊙	YARD DRAIN
☆	LIGHTING
⊙	SILTATION FENCE
⊙	HAY BALES

### PROPOSED

⊙	BOUNDARY
⊙	MINOR CONTOUR
⊙	SETBACK
⊙	SAN. SEWER
⊙	SAN. FORCE MAIN
⊙	SAN. LATERAL
⊙	WATER MAIN
⊙	WATER SERVICE
⊙	STORM
⊙	TELEPHONE, ELECT. COMMUNICATION
⊙	SAN. MANHOLE
⊙	STORM DRAINAGE MANHOLE
⊙	UTILITY POLE
⊙	TYPE CL-CB
⊙	TYPE C-CB
⊙	YARD DRAIN
⊙	LIGHTING
⊙	SILTATION FENCE
⊙	HAY BALES

**ZONING TABLE**  
861 NEW HARWINTON ROAD  
TORRINGTON, CONNECTICUT  
MBL: 140/009/016  
LOT AREA = 0.34AC  
ZONE = LB - LOCAL BUSINESS

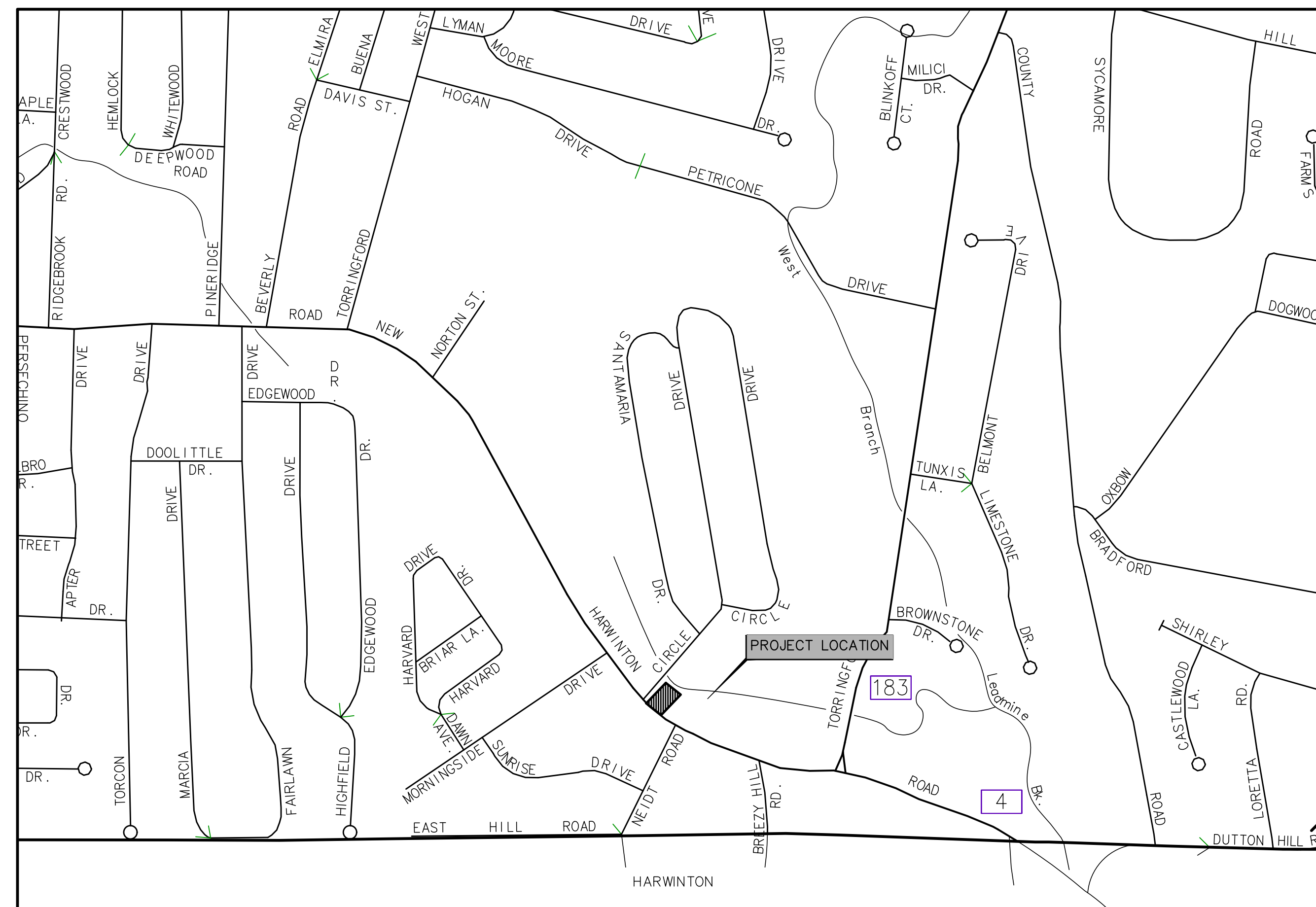
Lot Requirements	Required	Existing	Proposed
Lot Area	10,000 SF	15,069 SF	No Change
Lot Width	80 FT	100.5 FT	No Change
Front Yard	10 FT	74.8 FT	76.0 FT Building 8.6" Canopy
Side Yard	0.0 FT	11.5 FT	No Change Building 14.5" Canopy
Rear Yard	25 FT	20.8 FT	No Change
Max. Impervious Coverage	75%	75.2%	74.5%
Max. Building Height	50 FT	13'-3" FT	No Change
Parking (Section 8.40 Sale of Gasoline)	1 Space per 250 SF GFA Existing Gross Floor Area = 2,433 SF 2,433 SF/250 SF = 9.7 ≈ 10	17 Standard 1 Accessible	9 Standard 2 Employ. Standard 1 Accessible

Note: Zoning requirements taken from zoning regulations as posted on the City of Torrington's website. Effective date December 24, 1957, Revised December 17, 2020.

### COVERAGE ANALYSIS

Lot Square Foot Area = 15,069 SF

Item	Existing Conditions		Proposed Conditions	
	Existing Area (SF)	% Coverage	Proposed Additional Area (SF)	% Coverage
Building	2948.4	19.6	2851.7	18.9
Pavement	6602.3	43.8	8308.2	55.1
Concrete	1767.6	11.7	517.3	3.4
Sign	15.7	0.1	20.0	0.1
Permeable Pavers	0.0	0.0	-464.9	-3.1
<b>Total</b>	<b>11,333.9 SF</b>	<b>75.2%</b>	<b>11,232.3 SF</b>	<b>74.5%</b>



VICINITY MAP  
1" = 500'

**OWNER**  
ALAM REALTY, LLC  
861 NEW HARWINTON ROAD  
TORRINGTON, CONNECTICUT 06790



241 Torrington Road  
P.O. Box 194  
Goshen, CT 06756  
T: 860-491-3456 F: 860-201-4104  
www.dismukesengineering.com

**BOE STUDIO**  
architects  
19 Tioga Street Torrington, CT 06790  
e-mail: boestudio1@optimum.net  
PHONE/FAX 860-489-3771

## SHEET

## TITLE

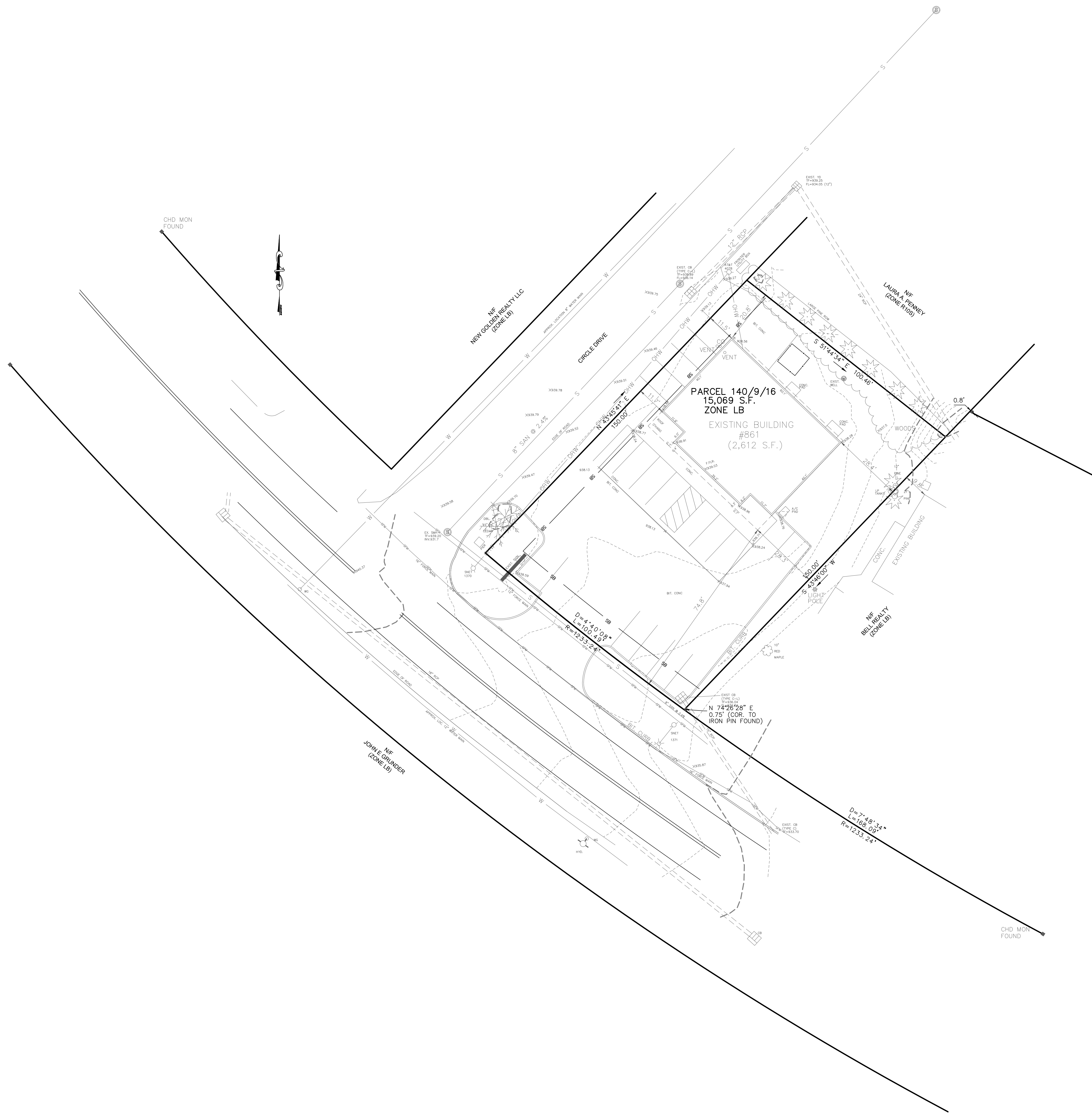
C1	COVER SHEET
C2	EXISTING CONDITIONS
C3	PROPOSED SITE PLAN
C4	MISCELLANEOUS DETAILS
C5	SWEEP PATH ANALYSIS FOR WB40 VEHICLE
C6	S+E AND LANDSCAPING PLAN
EX1	EXISTING BUILDING PLAN
EX2	EXISTING BUILDING ELEVATIONS
P1	PROPOSED BUILDING PLAN
P2	PROPOSED SOUTH & WEST BUILDING ELEVATIONS
P3	PROPOSED EAST & NORTH BUILDING ELEVATIONS
P4	CANOPY ELEVATIONS

### GENERAL NOTES

- Map References:
  - Boundary and topographic information based on survey titled "Existing Conditions Survey 149 Newfield Road Prepared For East Coast Assistance Dogs, Inc., Winchester, Conn.", prepared by Clark Land Surveying, LLC, dated 4-30-2019.
- The Contractor shall contact CALL BEFORE YOU DIG at 1-800-922-4455 prior to any excavation.
- Underground utilities are shown for the convenience of the Contractor only and may not represent actual locations. The Engineer is not responsible for the location of underground utilities.
- The Contractor shall comply with all applicable building codes.
- The Owner is responsible for obtaining all necessary permits prior to construction.
- The Contractor shall verify all dimensions, line, and grade. Any discrepancy shall be brought to the Engineer's attention immediately before continuing any work.

#	Date	Revisions

**WETLANDS DISTURBANCE**  
Wetlands Area 0 S.F.  
Upland Regulated Area 0 S.F. (0 AC)



**JASON DISMUKES**  
CONSULTING ENGINEERS

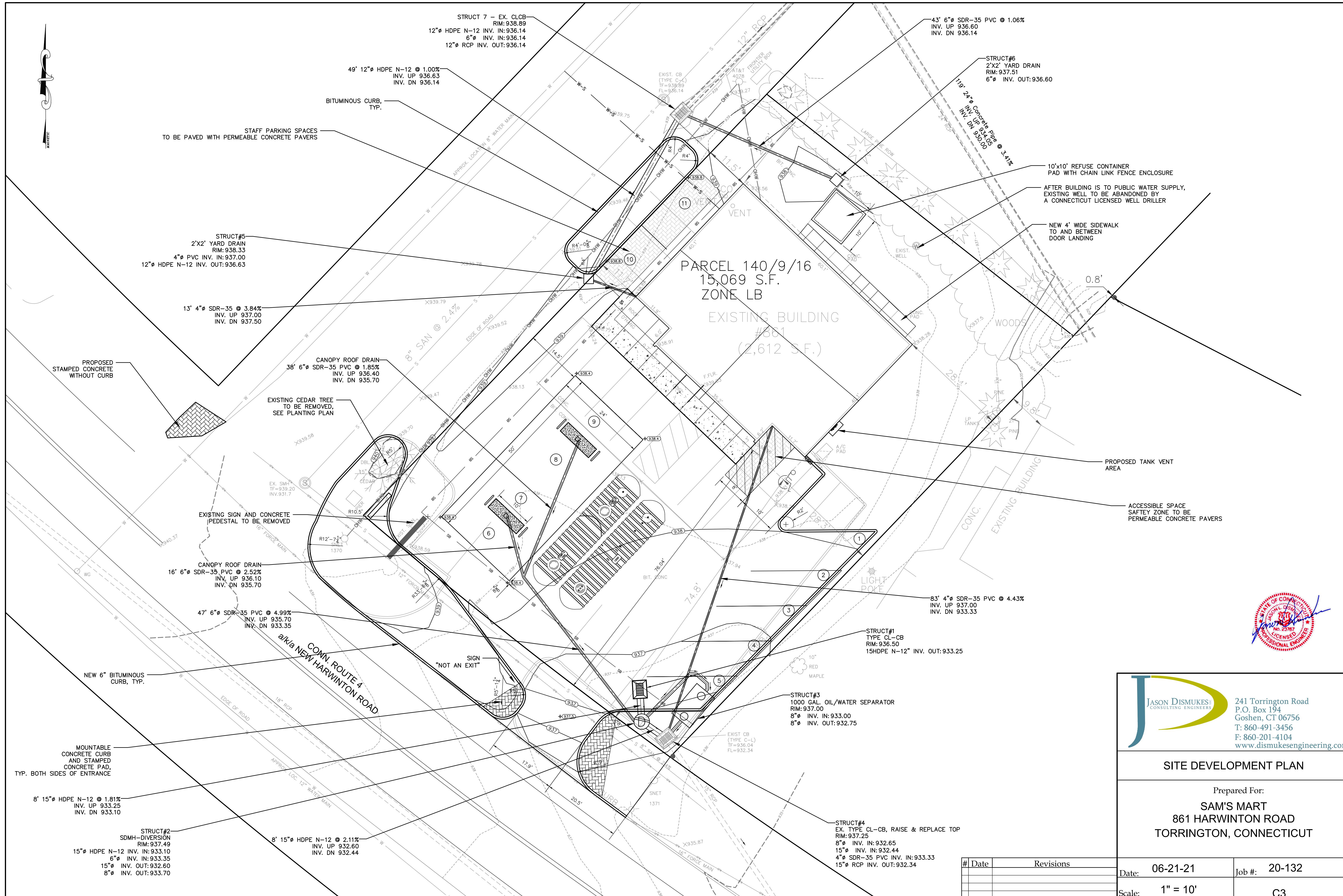
241 Torrington Road  
P.O. Box 194  
Goshen, CT 06756  
T: 860-491-3456  
F: 860-201-4104  
www.dismukesengineering.com

**EXISTING CONDITIONS**

Prepared For:  
**SAM'S MART**  
861 HARWINTON ROAD  
TORRINGTON, CONNECTICUT

#	Date	Revisions

Date:	06-21-21	Job #:	20-132
Scale:	1" = 20' (Unless shown otherwise)	Sheet:	C2



PARCEL 140/9/16  
15,069 S.F.  
ZONE LB

EXISTING BUILDING  
#661  
(2,612 S.F.)

8' 15" HDPE N-12 @ 1.81%  
INV. UP 933.25  
INV. DN 933.10

STRUCT#2  
SDMH-DIVERSION  
RIM: 937.49  
15" HDPE N-12 INV. IN: 933.10  
6" INV. IN: 933.35  
15" INV. OUT: 932.60  
8" INV. OUT: 933.70

8' 15" HDPE N-12 @ 2.11%  
INV. UP 932.60  
INV. DN 932.44

STRUCT 7 - EX. CLCB  
RIM: 938.89  
12" HDPE N-12 INV. IN: 936.14  
6" INV. IN: 936.14  
12" RCP INV. OUT: 936.14

49' 12" HDPE N-12 @ 1.00%  
INV. UP 936.63  
INV. DN 936.14

STRUCT#5  
2'x2' YARD DRAIN  
RIM: 938.33  
4" PVC INV. IN: 937.00  
12" HDPE N-12 INV. OUT: 936.63

13' 4" SDR-35 @ 3.84%  
INV. UP 937.00  
INV. DN 937.50

CANOPY ROOF DRAIN  
38' 6" SDR-35 PVC @ 1.85%  
INV. UP 936.40  
INV. DN 935.70

CANOPY ROOF DRAIN  
16' 6" SDR-35 PVC @ 2.52%  
INV. UP 936.10  
INV. DN 935.70

47' 6" SDR-35 PVC @ 4.99%  
INV. UP 935.70  
INV. DN 933.35

STRUCT#3  
1000 GAL. OIL/WATER SEPARATOR  
RIM: 937.00  
8" INV. IN: 933.00  
8" INV. OUT: 932.75

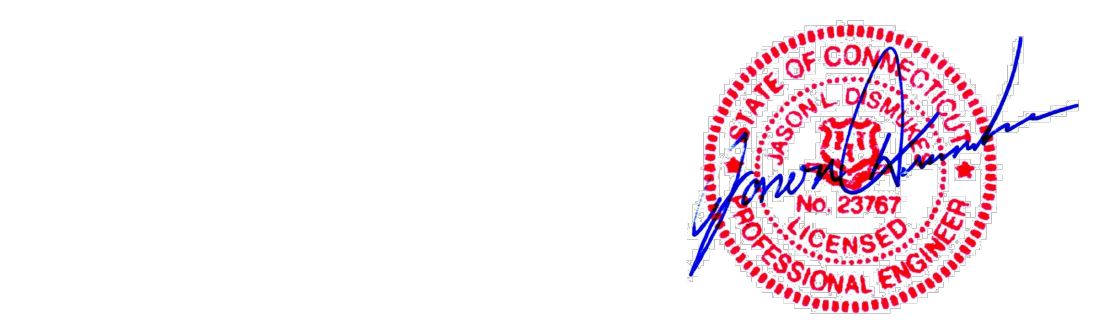
STRUCT#1  
TYPE CL-CB  
RIM: 936.50  
15HDPE N-12" INV. OUT: 933.25

STRUCT#4  
EX. TYPE CL-CB, RAISE & REPLACE TOP  
RIM: 937.25  
8" INV. IN: 932.65  
15" INV. IN: 932.44  
4" SDR-35 PVC INV. IN: 933.33  
15" RCP INV. OUT: 932.34

43' 6" SDR-35 PVC @ 1.06%  
INV. UP 936.60  
INV. DN 936.14

STRUCT#6  
2'x2' YARD DRAIN  
RIM: 937.51  
6" INV. OUT: 936.60

83' 4" SDR-35 PVC @ 4.43%  
INV. UP 937.00  
INV. DN 933.33



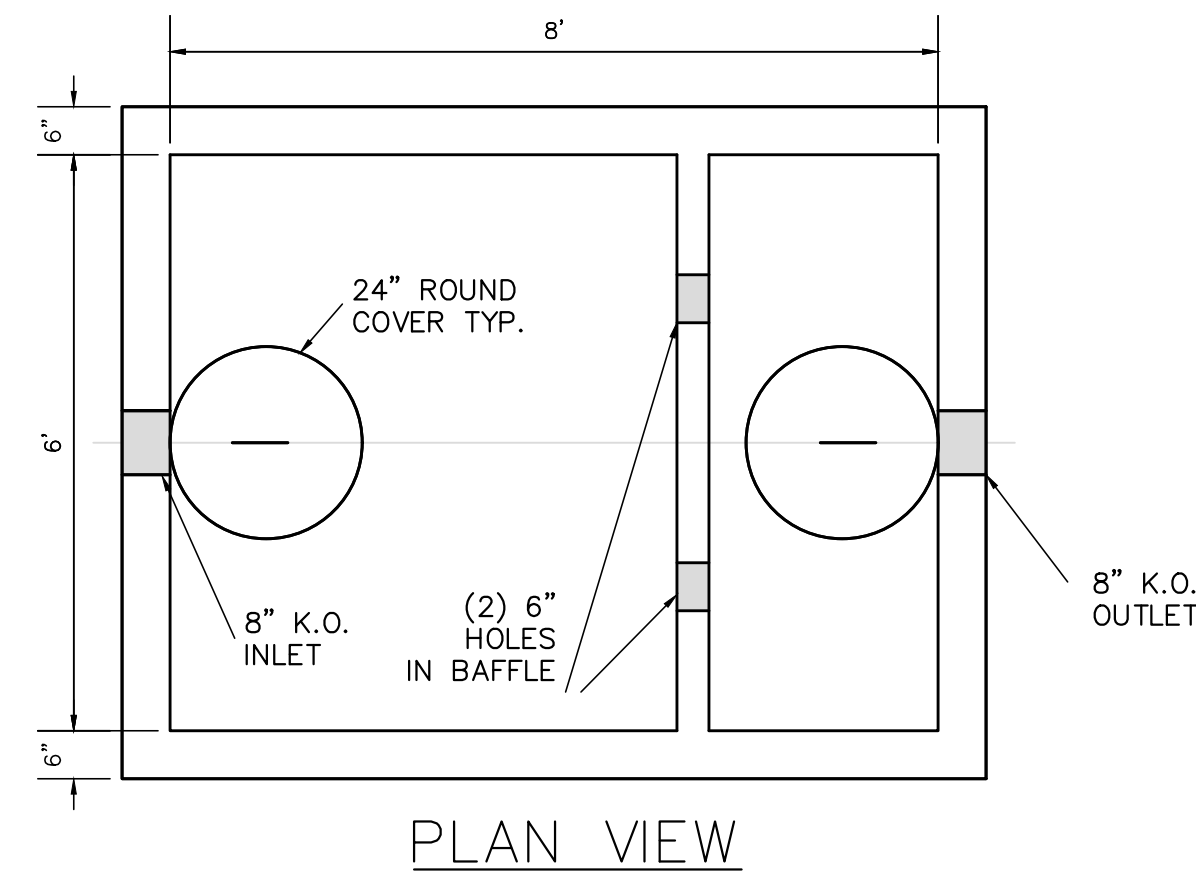
**JASON DISMUKES**  
CONSULTING ENGINEERS  
241 Torrington Road  
P.O. Box 194  
Goshen, CT 06756  
T: 860-491-3456  
F: 860-201-4104  
www.dismukesengineering.com

**SITE DEVELOPMENT PLAN**

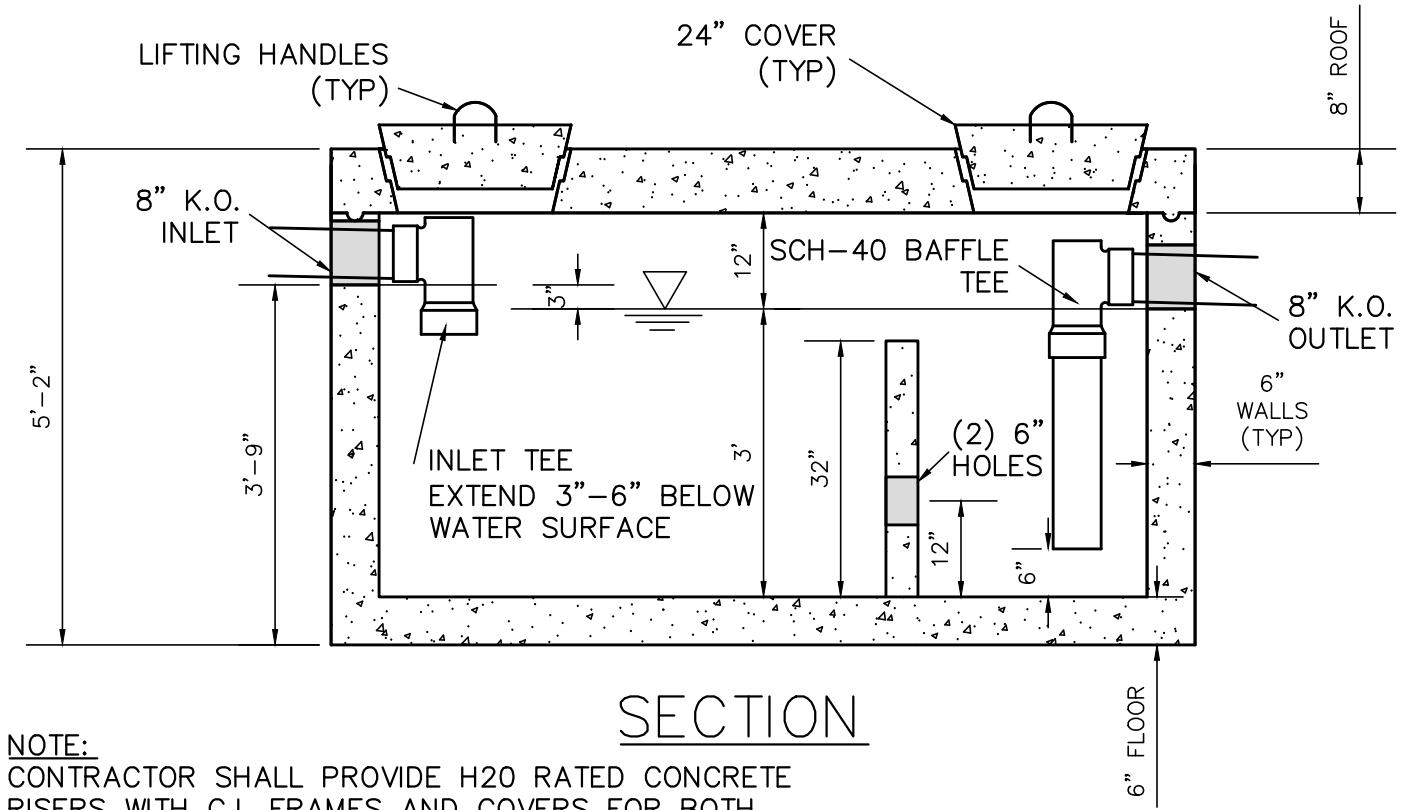
Prepared For:  
**SAM'S MART**  
861 HARWINTON ROAD  
TORRINGTON, CONNECTICUT

#	Date	Revisions

Date:	06-21-21	Job #:	20-132
Scale:	1" = 10' (Unless shown otherwise)	Sheet:	C3



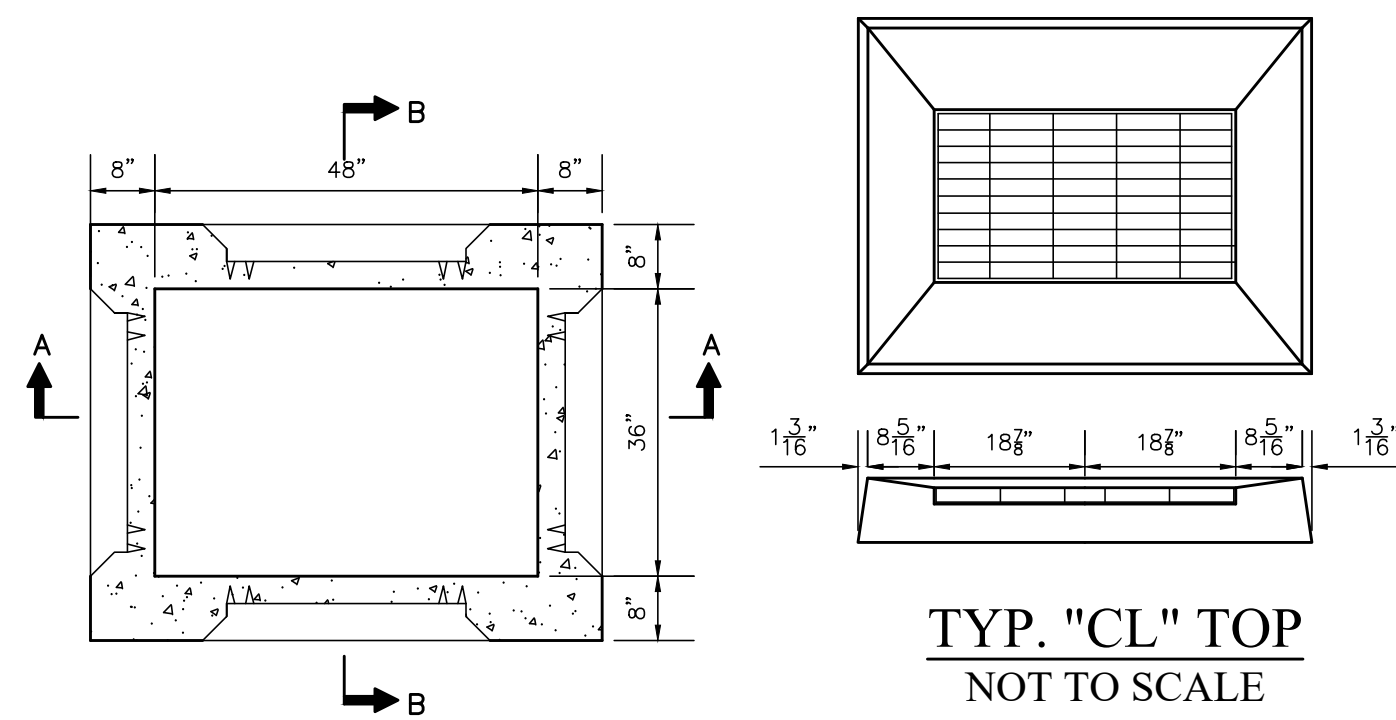
PLAN VIEW



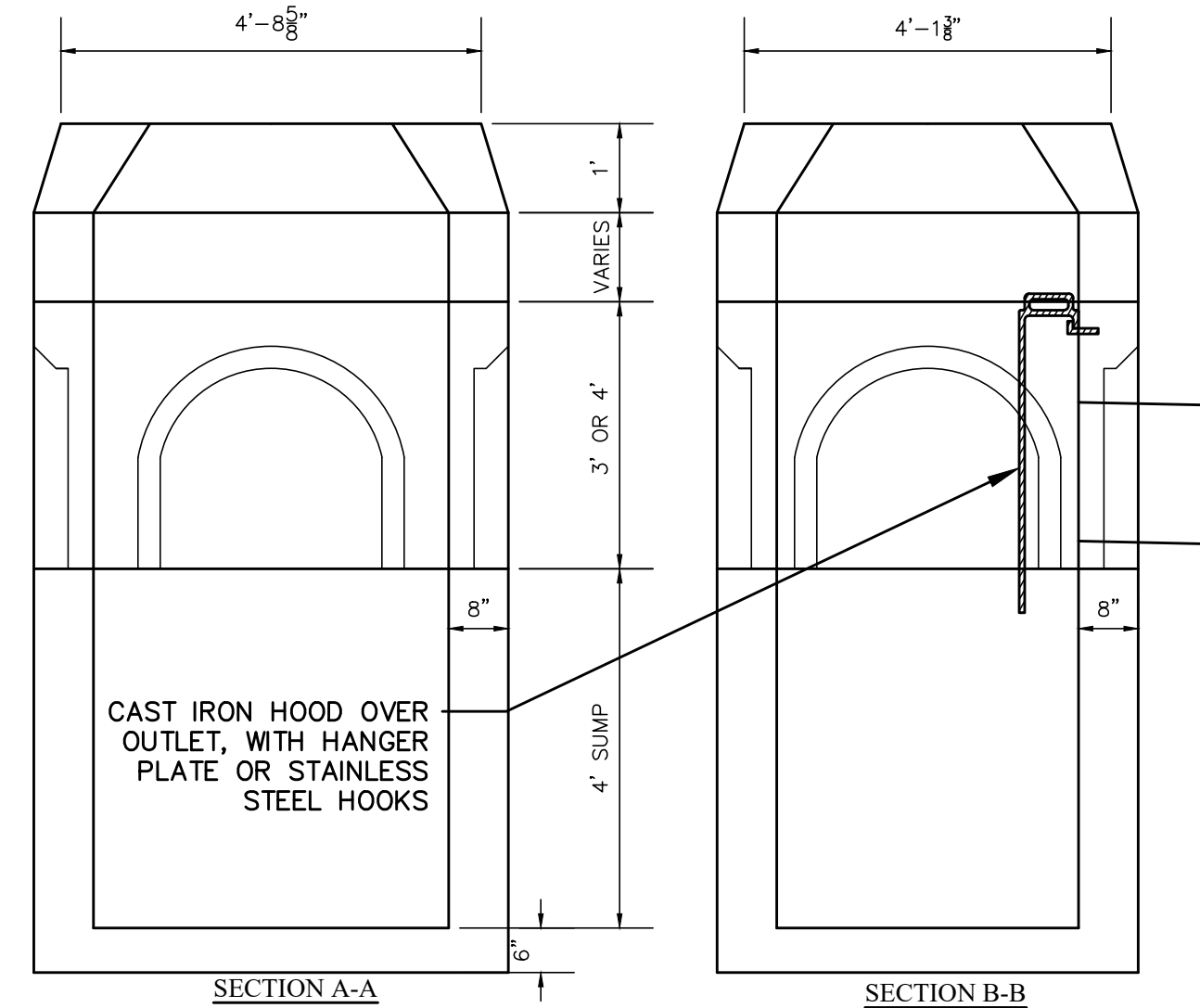
SECTION

NOTE:  
CONTRACTOR SHALL PROVIDE H2O RATED CONCRETE RISERS WITH C.I. FRAMES AND COVERS FOR BOTH INLET AND OUTLET ACCESS POINTS.

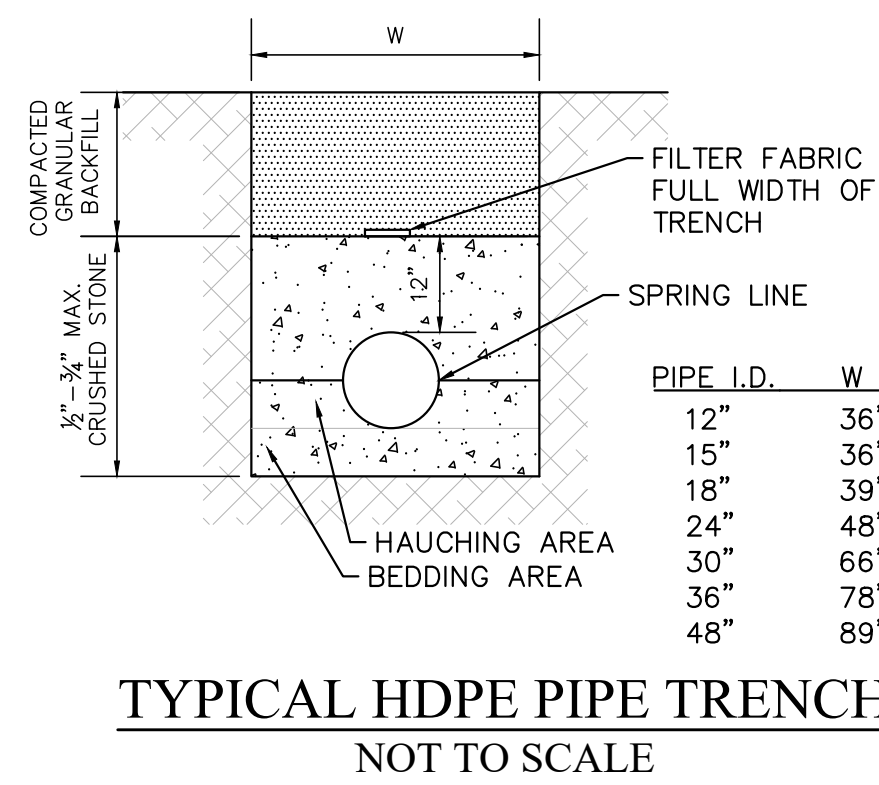
1000 GALLON OIL/WATER SEPARATOR  
NOT TO SCALE



TYP. "CL" TOP  
NOT TO SCALE

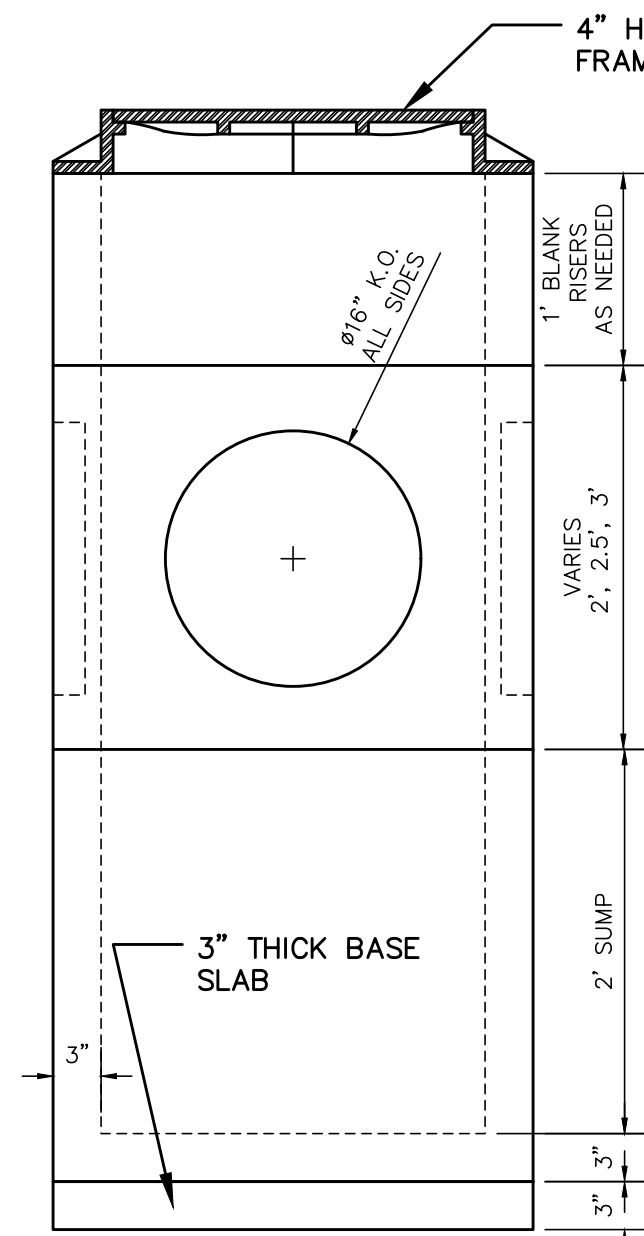


TYPICAL CATCH BASIN W/C.I. HOOD  
NOT TO SCALE

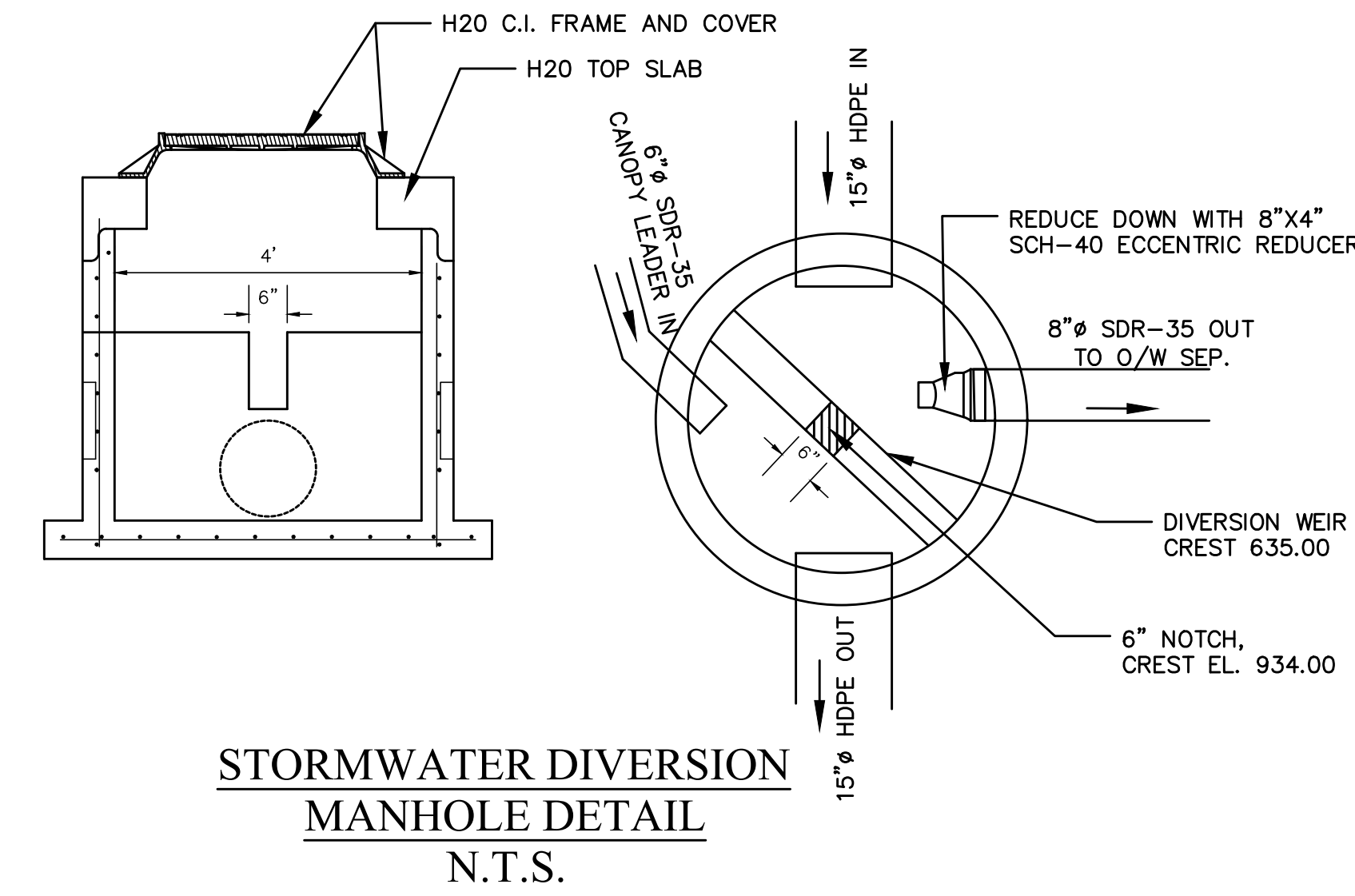


TYPICAL HDPE PIPE TRENCH  
NOT TO SCALE

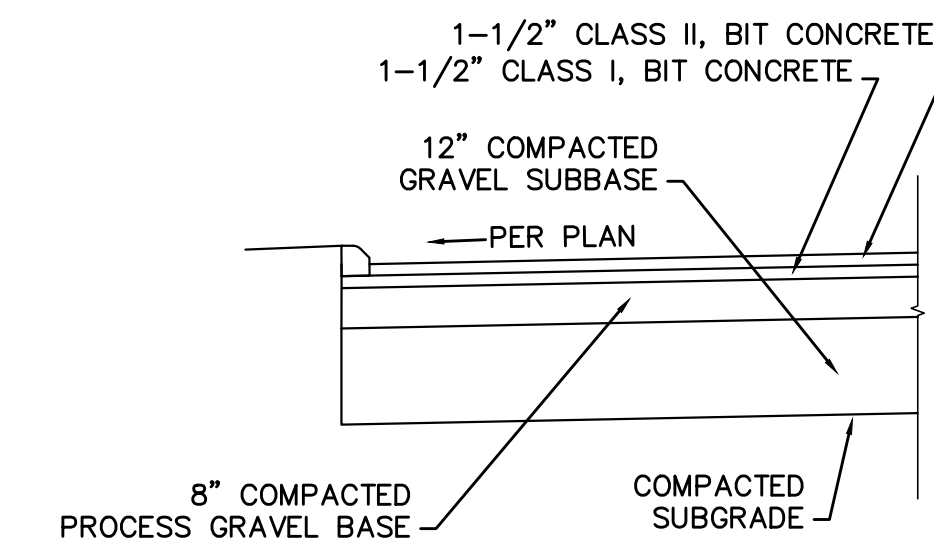
PIPE I.D.	W
12"	36"
15"	36"
18"	39"
24"	48"
30"	66"
36"	78"
48"	89"



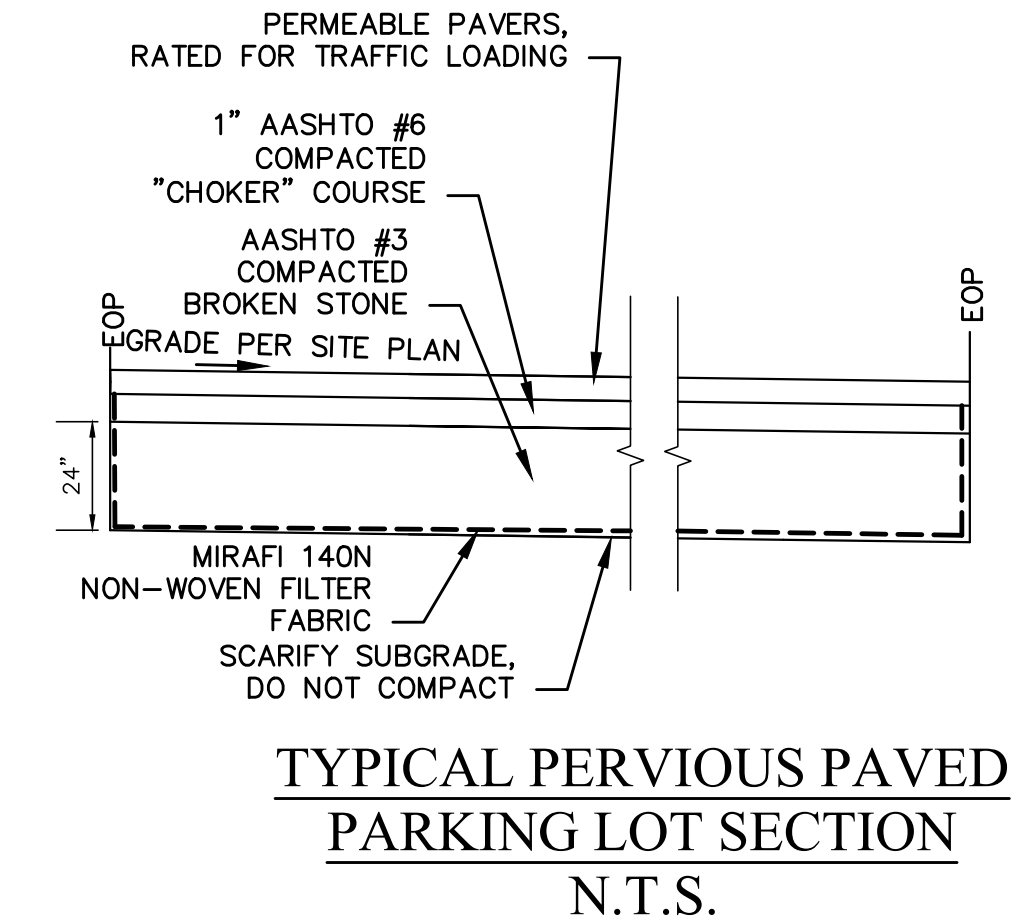
2' X 2' CONCRETE YARD DRAIN  
N.T.S.



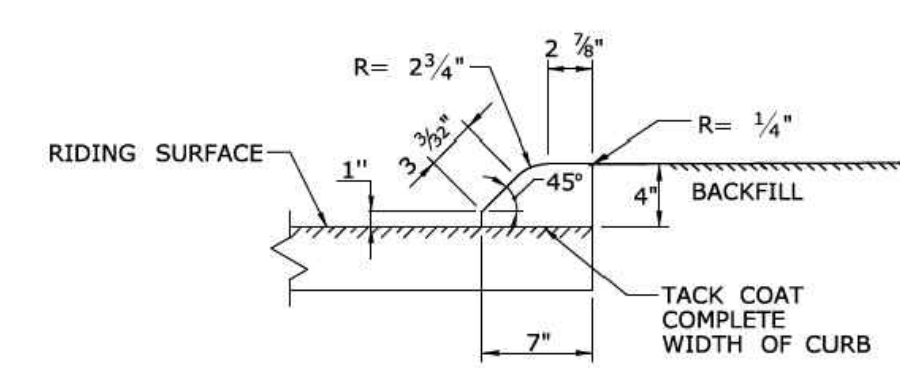
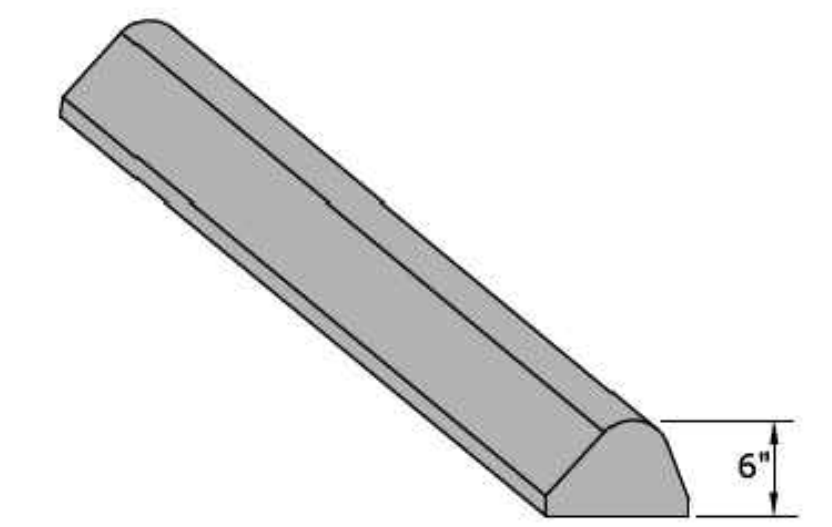
STORMWATER DIVERSION  
MANHOLE DETAIL  
N.T.S.



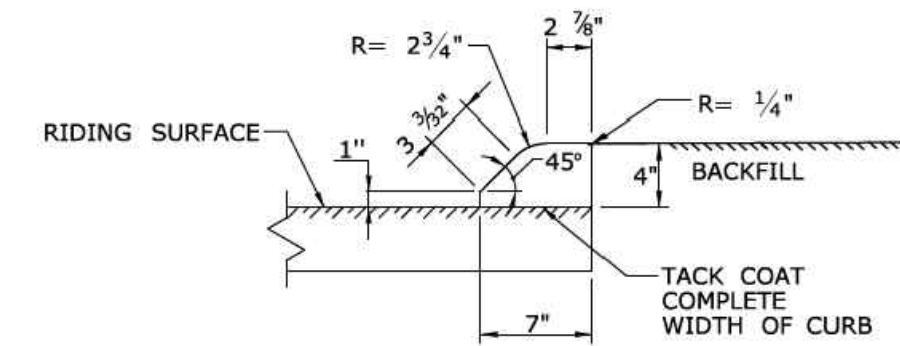
TYPICAL PAVED PARKING LOT SECTION  
N.T.S.



TYPICAL PERVIOUS PAVED  
PARKING LOT SECTION  
N.T.S.

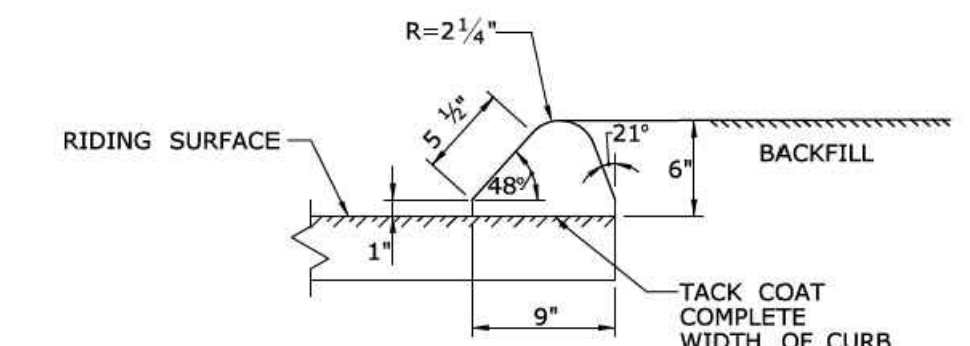


SECTION



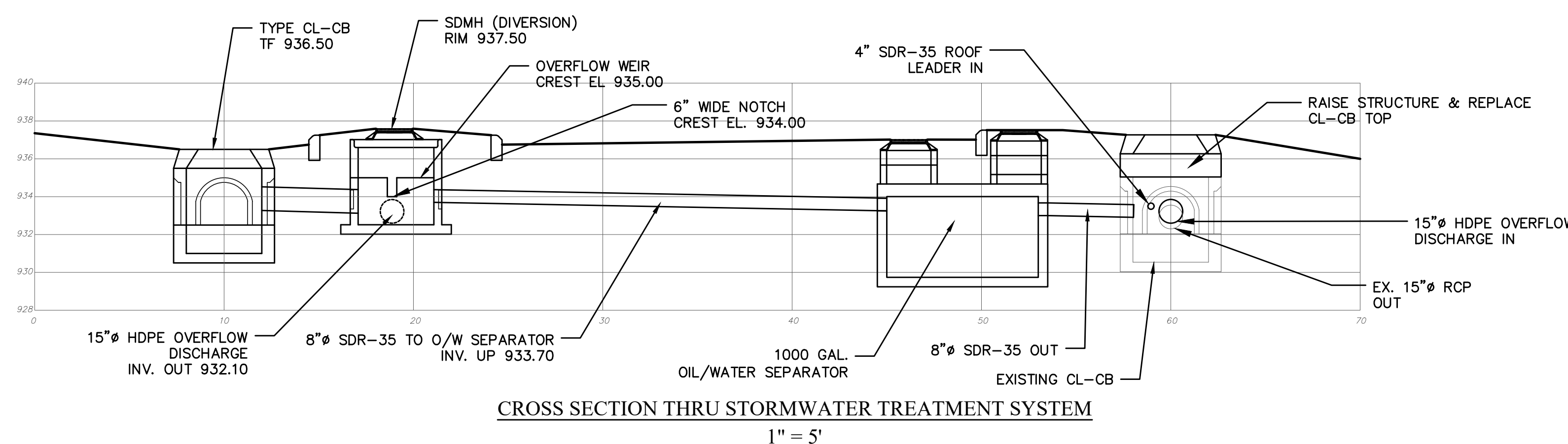
SECTION

BITUMINOUS CONCRETE LIP CURBING  
(6" HIGH)



SECTION

BITUMINOUS CONCRETE CURB DETAILS  
N.T.S.



CROSS SECTION THRU STORMWATER TREATMENT SYSTEM  
1" = 5'



ENTRANCE ONLY SIGN  
N.T.S.



**JASON DISMUKES**  
CONSULTING ENGINEERS

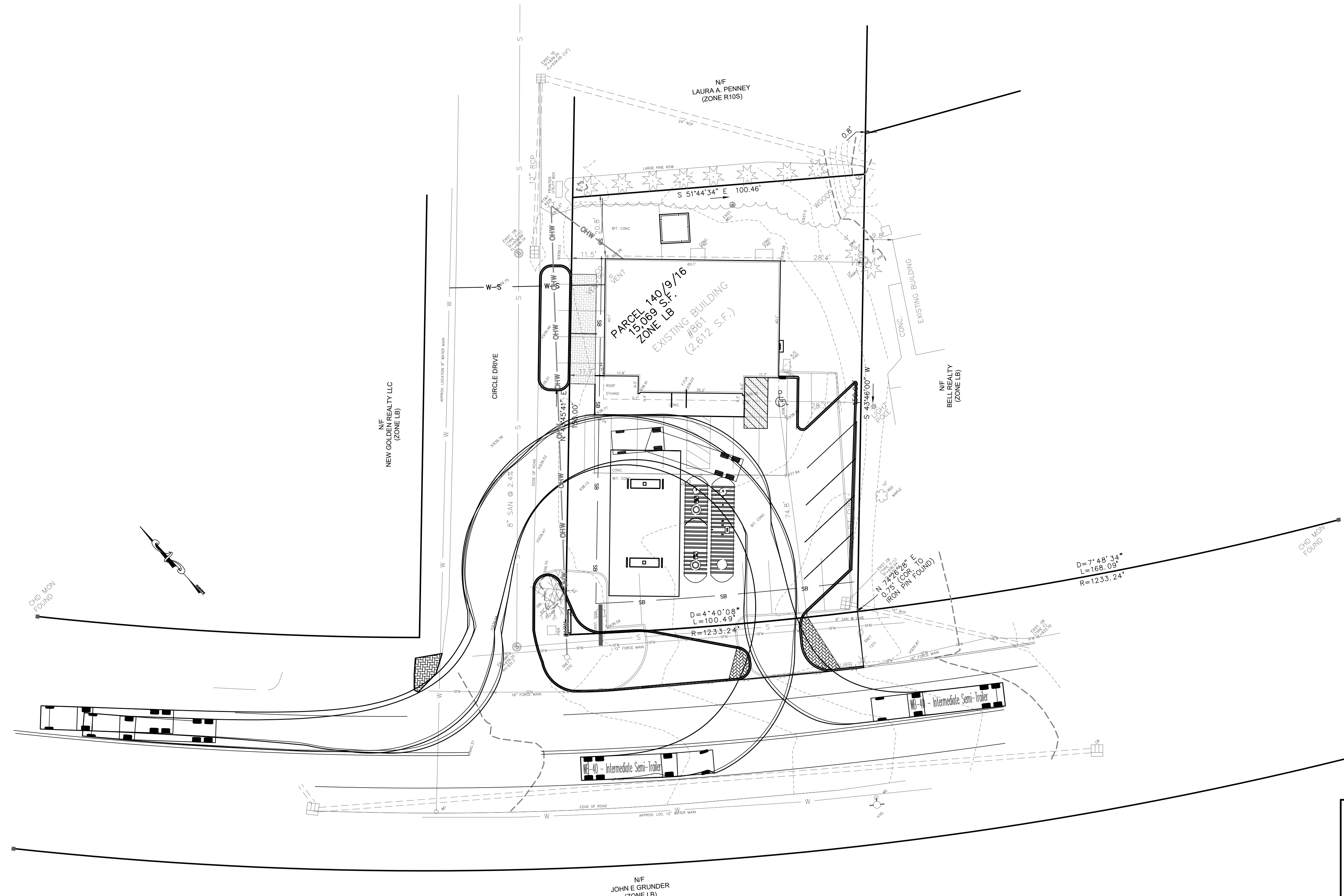
241 Torrington Road  
P.O. Box 194  
Goshen, CT 06756  
T: 860-491-3456  
F: 860-201-4104  
www.dismukesengineering.com

MISCELLANEOUS DETAILS

Prepared For:  
**SAM'S MART**  
861 HARWINTON ROAD  
TORRINGTON, CONNECTICUT

#	Date	Revisions

Date: 06-21-21	Job #: 20-132
Scale: 1" = 5' (Unless shown otherwise)	Sheet: C4



- NOTES:
1. ONE-WAY ENTRY ON CT ROUTE 4
  2. DESIGN VEHICLE = WB40 & PASSENGER CAR
  3. FUEL DELIVERIES TO BE SCHEDULED DURING CLOSED BUSINESS HOURS AFTER 10PM



**JASON DISMUKES**  
CONSULTING ENGINEERS

241 Torrington Road  
P.O. Box 194  
Goshen, CT 06756  
T: 860-491-3456  
F: 860-201-4104  
www.dismukesengineering.com

**WB40 SWEEP PATH ANALYSIS**

Prepared For:  
**SAM'S MART**  
861 NEW HARTFORD ROAD  
TORRINGTON, CONNECTICUT

#	Date	Revisions	Date	Job #:
			06-21-21	20-132
			Scale: 1" = 20'	Sheet: C5
			(Unless shown otherwise)	

PLANT LIST				
KEY	QUANTITY	COMMON NAME	BOTANICAL NAME	SIZE
R.J.	3	RED JEWEL FLOWERING CRAB	MALLUS "RED JEWEL"	2 1/2" - 3" CAL.
S.S.	24	LITTLE BLUE STEM	SCHIZACHYRIUM SCOPARIUM "THE BLUES"	1 GAL.
R.G.	32	BLACK-EYED-SUSAN	RUDBECKIA FLUGIDA "GOLDSTURM"	1 GAL.
H.I.	10	SMOOTHLEAF HYDRANDIA	HYDRANDEA A. "INCREDIBALL"	3 GAL.
H.S.	90	GOLDEN YELLOW DAYLILY	HEMEROCALLIS "STELLA D' ORO"	1 GAL.
C.H.	1	RUTGERS HYBRID DOGWOOD	CORNUS X RUTGERSENSIS "HYPERION"	2" - 2 1/2" CAL.
R.O.	3	OLGA RHODODENDRON	RHODODENDRON "OLGA MEZITT"	5 GAL.
N.B.	15	CATMINT	NEPTA "BLUE WANDER"	1 GAL.

PREPARED BY JAY LAPLACA  
SOUTH FARMS NURSERY

**Erosion Control Narrative**

This narrative describes the minimum measures required to control soil erosion during and after construction of the activities shown on this plan. The soil erosion and sediment control measures shown on this plan are designed in accordance with the 2002 "Connecticut Guidelines for Soil Erosion and Sediment Control" published by the Connecticut Council on Soil and Water Conservation.

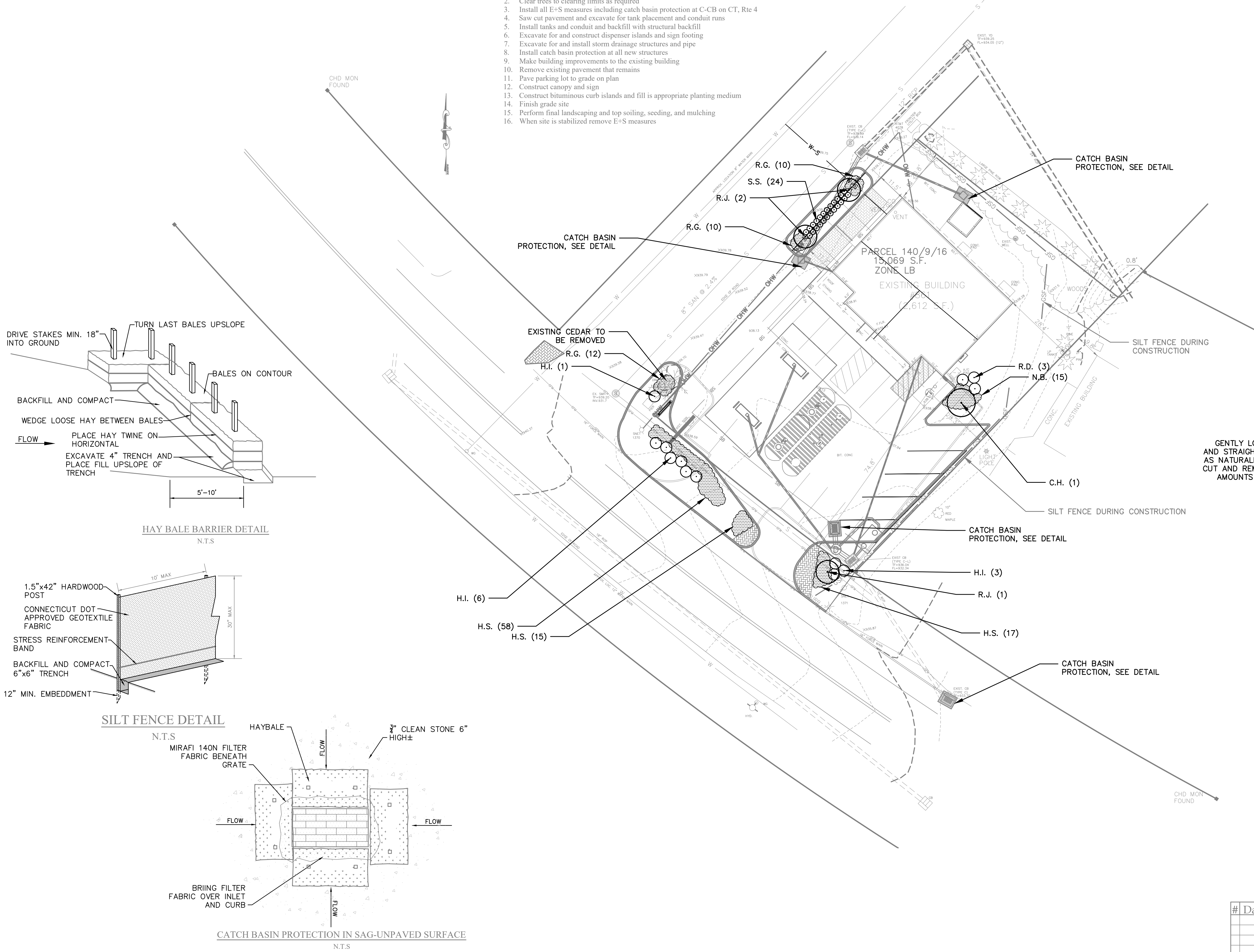
The Contractor may be required to implement additional measures to prevent site erosion and sedimentation of downstream waterways.

The Contractor is required to obtain copies of all permits required for this project and comply with the provisions and requirements of said permits.

The Contractor's activities and operations shall include all work incidental to construction. Such activities and operations include, but are not limited to, waste and disposal areas, haul roads, staging areas, and field offices. If any of his activities require approvals above and beyond those already accounted for by the Owner's permits, the Contractor shall apply for and obtain such permits prior to conducting said operations.

**CONSTRUCTION SEQUENCING**

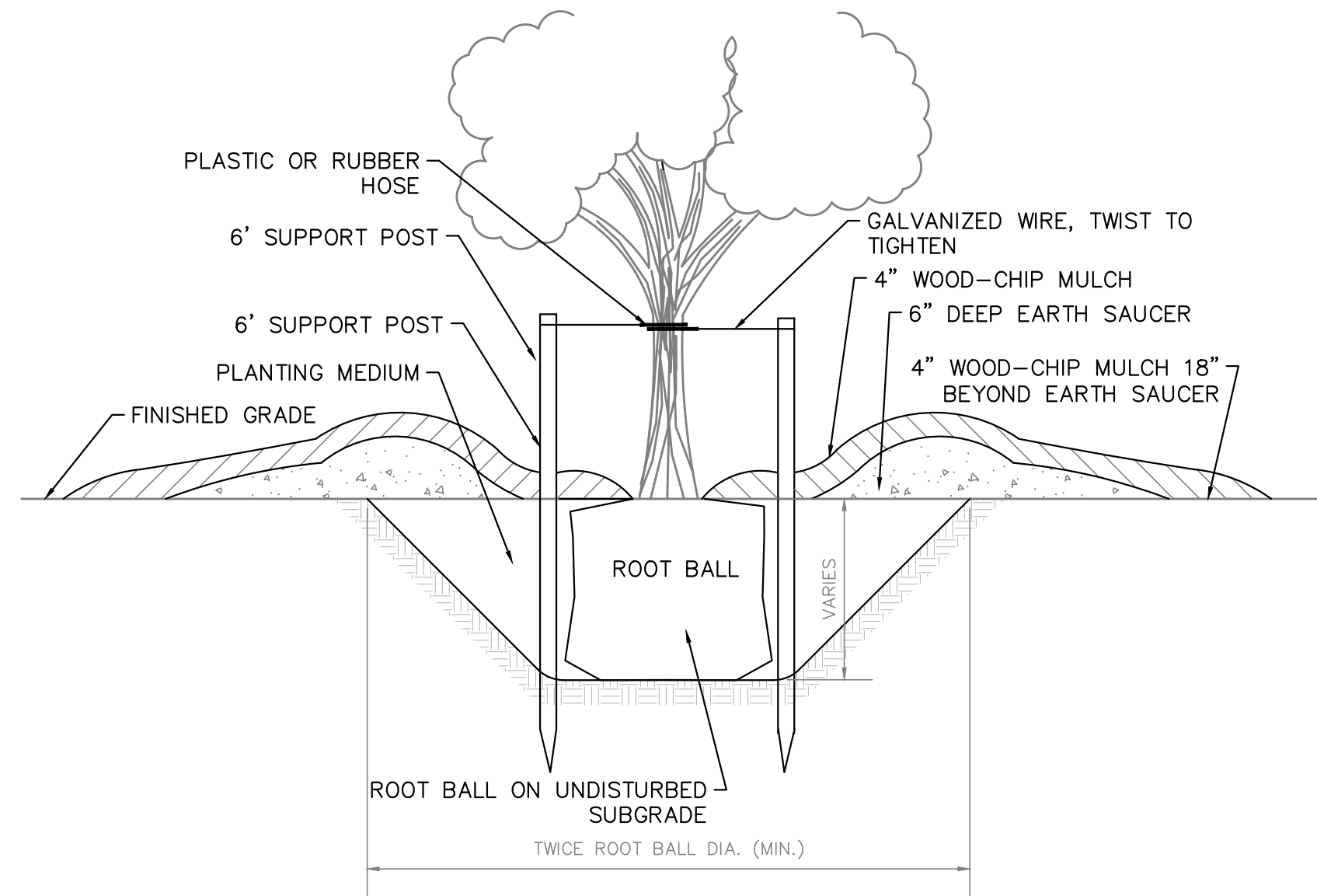
1. Stake out clearing limits
2. Clear trees to clearing limits as required
3. Install all E+S measures including catch basin protection at C-CB on CT, Rte 4
4. Saw cut pavement and excavate for tank placement and conduit runs
5. Install tanks and conduit and backfill with structural backfill
6. Excavate for and construct dispenser islands and sign footing
7. Excavate for and install storm drainage structures and pipe
8. Install catch basin protection at all new structures
9. Make building improvements to the existing building
10. Remove existing pavement that remains
11. Pave parking lot to grade on plan
12. Construct canopy and sign
13. Construct bituminous curb islands and fill is appropriate planting medium
14. Finish grade site
15. Perform final landscaping and top soiling, seeding, and mulching
16. When site is stabilized remove E+S measures



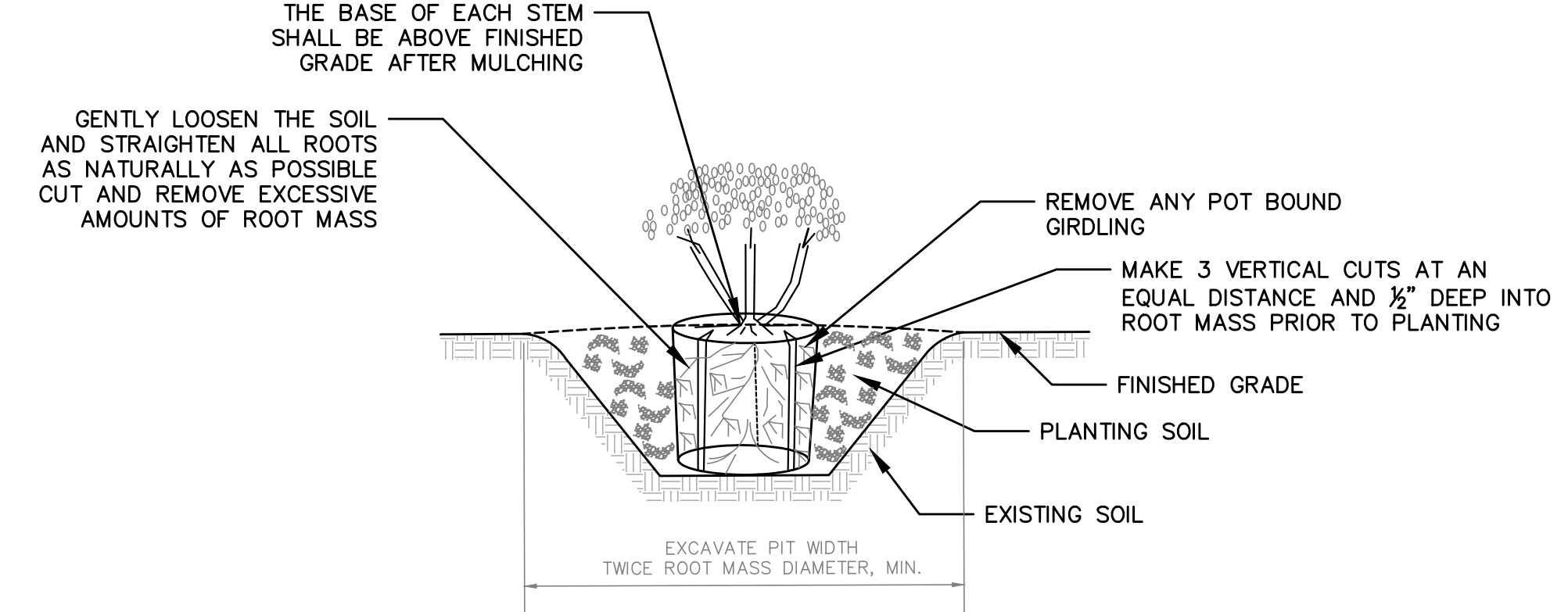
**LANDSCAPING SPECIFICATIONS:**

THE DISCRETION OF WORK, MATERIAL, AND CONSTRUCTION METHODS FOR LANDSCAPING AND THE APPLICATION OF TOPSOIL SHALL COMPLY WITH THE SPECIFICATIONS UNDER THE FOLLOWING SECTION OF THE STANDARD SPECIFICATIONS FOR ROADS, BRIDGES, FACILITIES, AND INCIDENTAL CONSTRUCTION, FORM 818, 2020, LATEST REVISION.

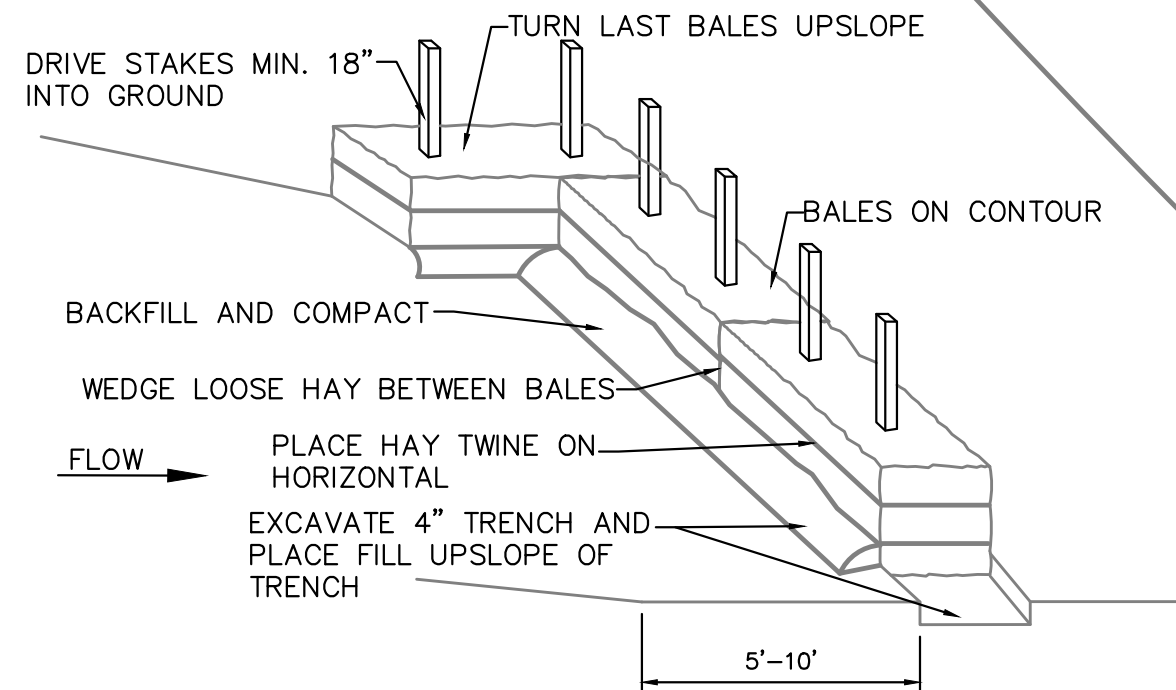
1. TOPSOIL - TOPSOIL FOR LAWN AREAS SHALL COMPLY WITH SECTIONS 9.44.01-9.44.03.
2. LIMING - SHALL MEET THE REQUIREMENTS OF SECTIONS 9.46.01-9.46.03.
3. FURNISHING, PLANTING AND MULCHING TREES, SHRUBS, VINES, AND GROUND COVER PLANTS SHALL MEET THE REQUIREMENTS OF SECTION 4.49.01-9.49.03.
4. TURF ESTABLISHMENT SHALL MEET THE REQUIREMENTS OF SECTION 9.50.01-9.50.03.



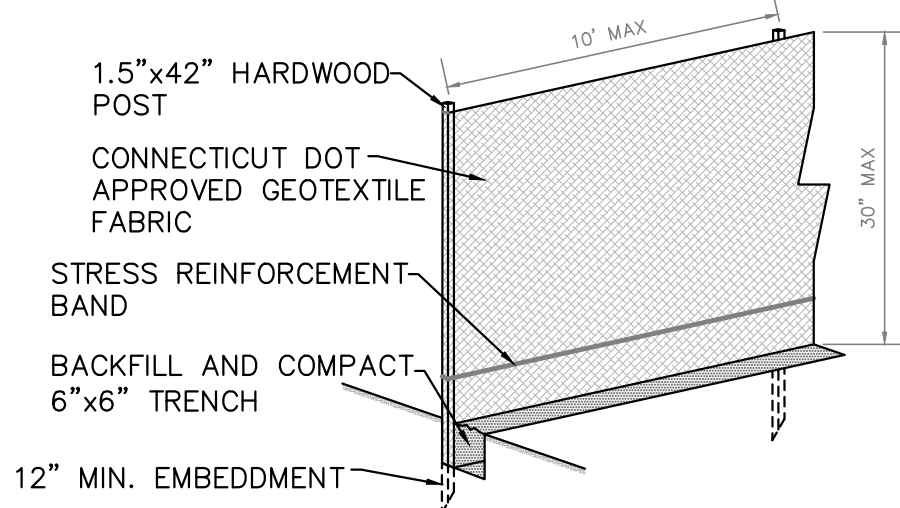
**TYPICAL TREE PLANTING DETAIL**  
NOT TO SCALE



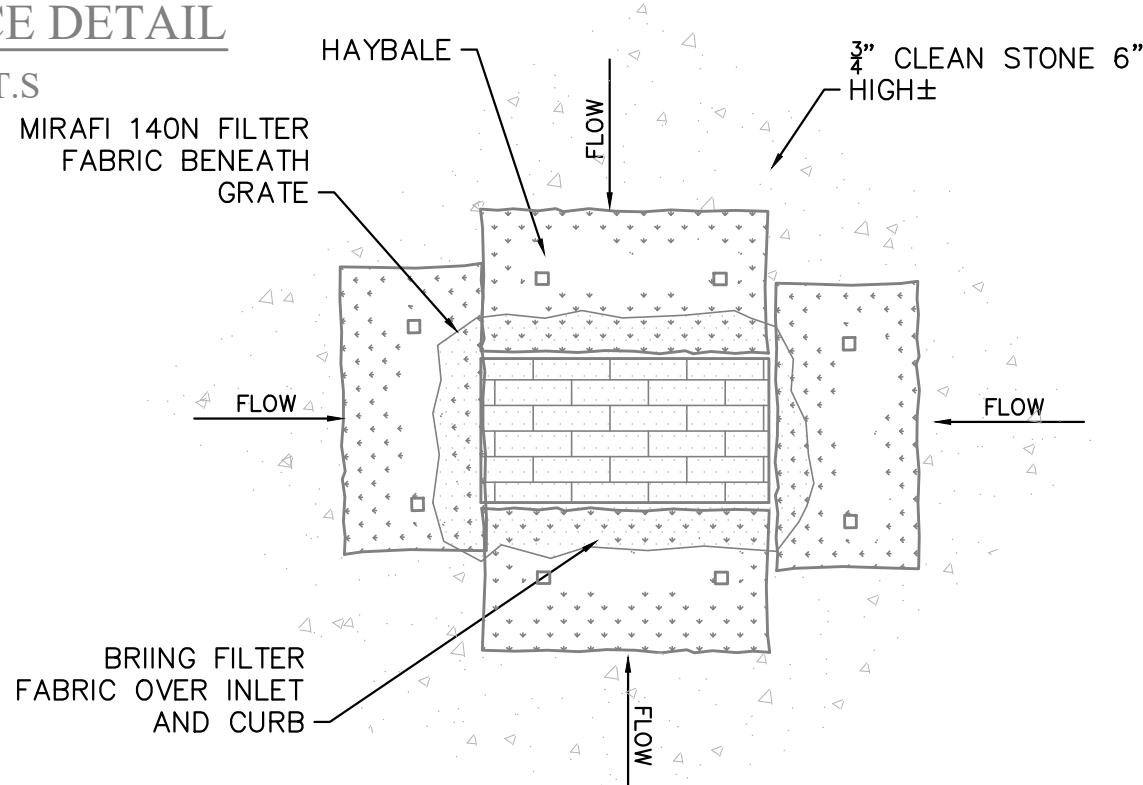
**CONTAINER PLANT PLANTING DETAIL**  
N.T.S.



**HAY BALE BARRIER DETAIL**  
N.T.S.



**SILT FENCE DETAIL**  
N.T.S.



**CATCH BASIN PROTECTION IN SAG-UNPAVED SURFACE**  
N.T.S.



**JASON DISMUKES**  
CONSULTING ENGINEERS

241 Torrington Road  
P.O. Box 194  
Goshen, CT 06756  
T: 860-491-3456  
F: 860-201-4104  
www.dismukesengineering.com

**S+E AND LANDSCAPING PLAN**

Prepared For:  
**SAM'S MART**  
861 HARWINTON ROAD  
TORRINGTON, CONNECTICUT

#	Date	Revisions

Date:	06-21-21	Job #:	20-132
Scale:	1" = 20' (Unless shown otherwise)	Sheet:	C6