

**ZONING INFORMATION TABLE – ZONE I (INDUSTRIAL)**

DESCRIPTION	REQUIRED	EXISTING	PROPOSED
Min. Lot Size	10,000 SF	54,505 SF (1.25 Acres)	54,505 SF NO-CHANGE
Min. Lot Width	80'	200.12'	200.12' NO-CHANGE
Min. Front Yard	10'	N/A (RAZED BLDG)	10.0' (North / East)
Min. Side Yard	0'	N/A (RAZED BLDG)	76.2' (S) 200.9' (W)
Min. Rear Yard	N/A (CORNER LOT)	N/A (CORNER LOT)	N/A CORNER LOT
Max. Bldg. Height	50'	N/A (RAZED BLDG.)	Less Than 50' (30'±)
Max. Impervious (Bldg. & Drive)	75%	55.0% (30,003 sf)	67.1% (36,585 sf)

**ZONING INFORMATION / PARKING REQUIREMENTS**

"Prepared By: Laurel Engineering, LLC"

**General Notes:**

Zone = LB = (Local Business)  
 Map 128 Block 5 Lot 5  
 Total Lot Area = 1.25 Acres = 54,505 sf  
 Total Proposed Site Disturbance = 1.25 Acres (54,505 sf)

**Parking Requirements:**  
 Section 5.13.4, Table 1, 7.50

Proposed Gross Floor Area (GFA) = 7385 sf  
 Parking Requirements; 1 seat per 350sf GFA

Required Parking Stalls = 7385 sf / 350 stalls/sf = 22 Stalls

Parking Stalls Provided on this plan = 70 stalls + 1 Van HC Stall and 3 HC Stalls

**Topography:**

Property / Topography Prepared by Timothy G Wyllie LS  
 Licensed Land Surveyor

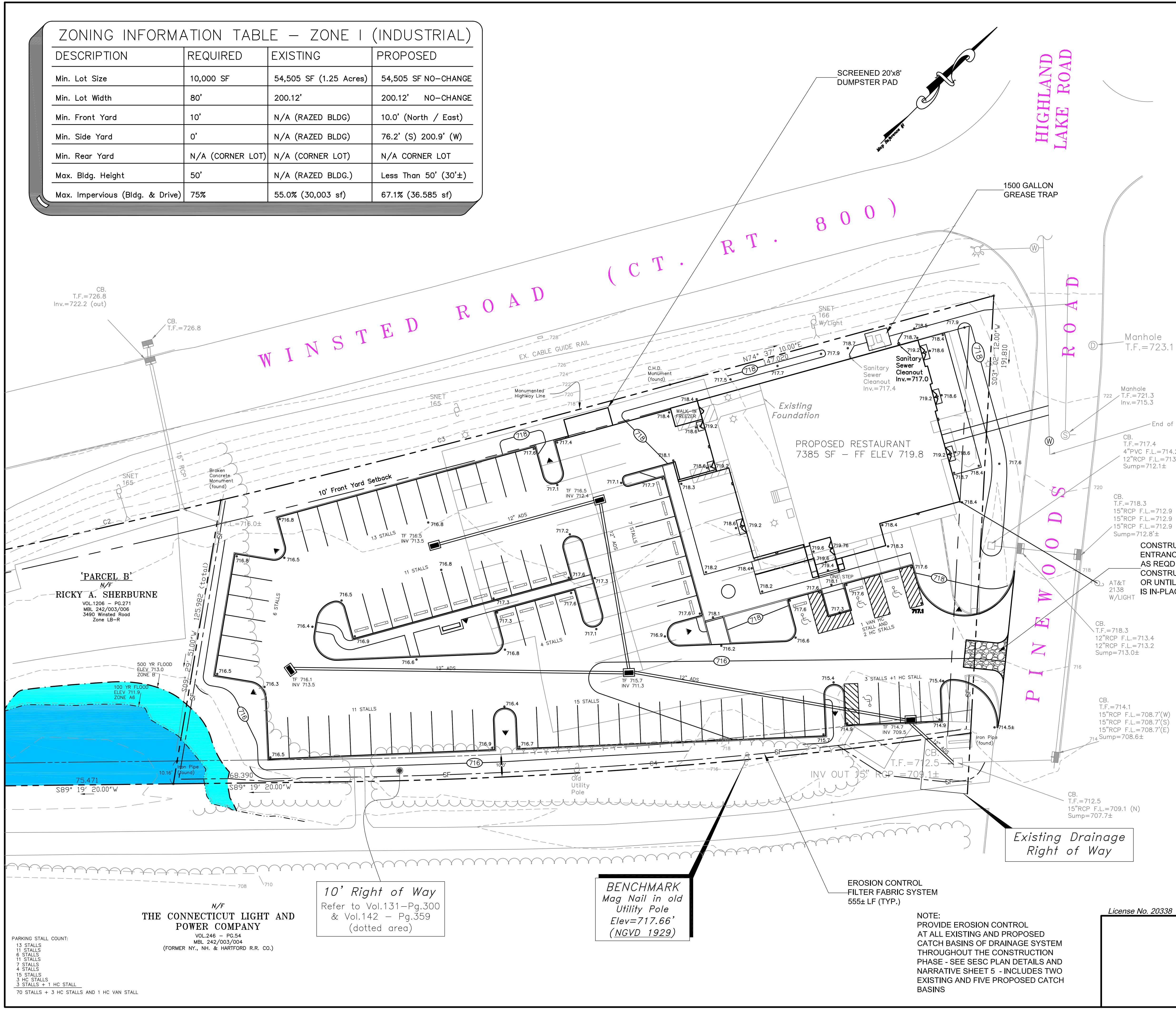
Approved by the City of Torrington Planning and Zoning Commission  
 Sheets 1 through 5 Inclusive

Final Approval: \_\_\_\_\_  
 Chairperson

Date: \_\_\_\_\_

Expiration Date: \_\_\_\_\_

THIS IS AN ORIGINAL INK DRAWING PREPARED BY LAUREL ENGINEERING, LLC DRAWING PREPARED NOVEMBER XX, 2020



CONSTRUCTION ENTRANCE - REPAIR AS REQD THROUGHOUT CONSTRUCTION PHASE OR UNTIL BINDER COURSE IS IN-PLACE

Existing Drainage Right of Way

EROSION CONTROL FILTER FABRIC SYSTEM 555± LF (TYP.)

NOTE: PROVIDE EROSION CONTROL AT ALL EXISTING AND PROPOSED CATCH BASINS OF DRAINAGE SYSTEM THROUGHOUT THE CONSTRUCTION PHASE - SEE SESC PLAN DETAILS AND NARRATIVE SHEET 5 - INCLUDES TWO EXISTING AND FIVE PROPOSED CATCH BASINS

10' Right of Way Refer to Vol.131-Pg.300 & Vol.142 - Pg.359 (dotted area)

BENCHMARK Mag Nail in old Utility Pole Elev=717.66' (NGVD 1929)

PARKING STALL COUNT:  
 13 STALLS  
 11 STALLS  
 6 STALLS  
 11 STALLS  
 7 STALLS  
 4 STALLS  
 15 STALLS  
 3 HC STALLS  
 3 STALLS + 1 HC STALL  
 70 STALLS + 3 HC STALLS AND 1 HC VAN STALL

N/F THE CONNECTICUT LIGHT AND POWER COMPANY  
 VOL.246 - PG.84  
 MBL. 242/003/004  
 (FORMER N.Y., NH. & HARTFORD R.R. CO.)

**SITE / GRADING PLAN**

**MARINO'S RESTAURANT**

Prepared For  
 Cheryl and Christian Marino

Torrington Connecticut

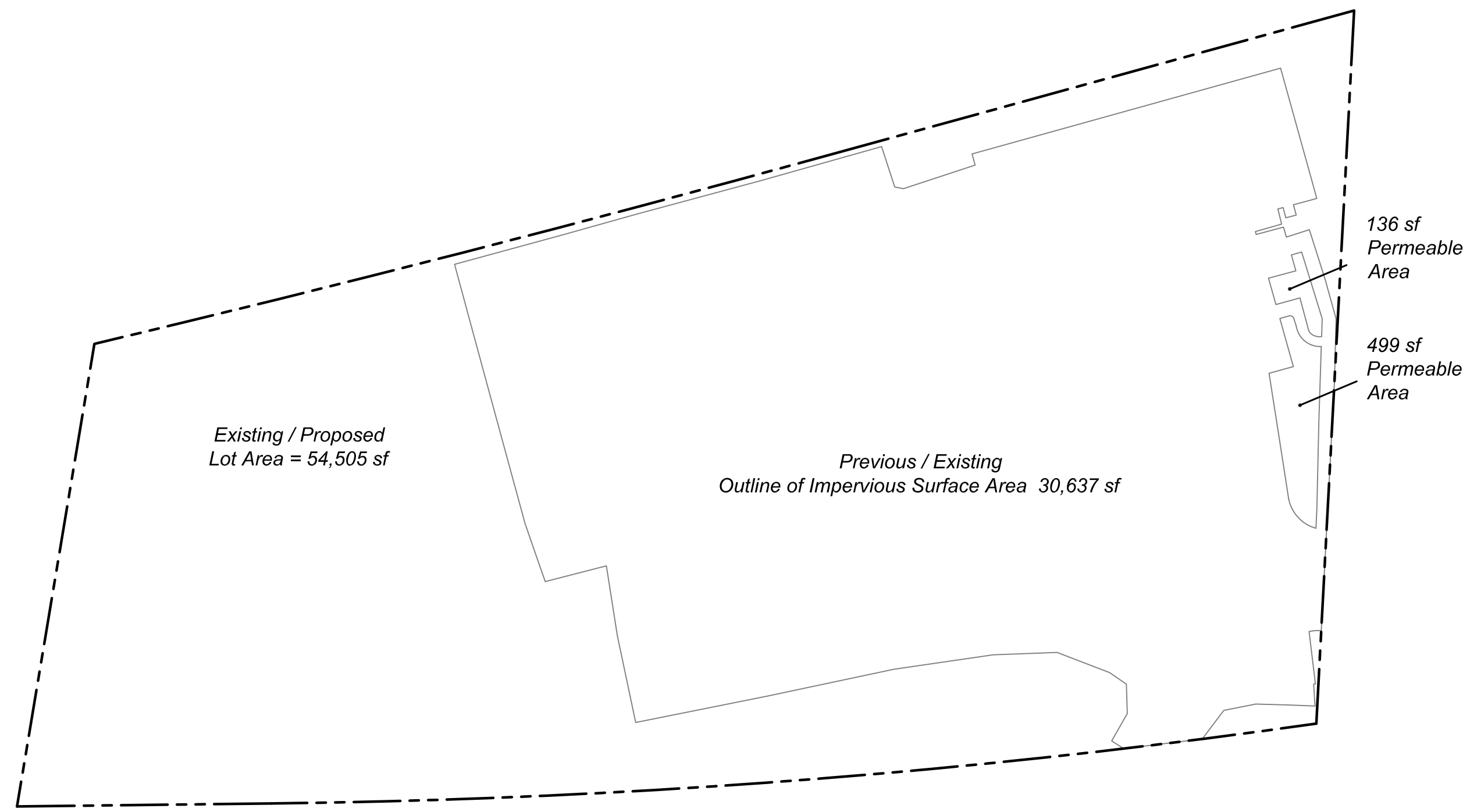
**LAUREL ENGINEERING, LLC**  
 Civil, Seismic, Structural Consultants  
 48 Center Street - Winsted, Connecticut 06098

Phone (860) 379-6898 License No. 20338 E-Mail laureleng@earthlink.net

Scale:	As Noted	Project No.:	20-105
Drawn By:	RC	File Name:	Site-Plan... .dwg
Revised Through:	09/23/20	Submitted:	09/24/20

Drawing No. **1A**

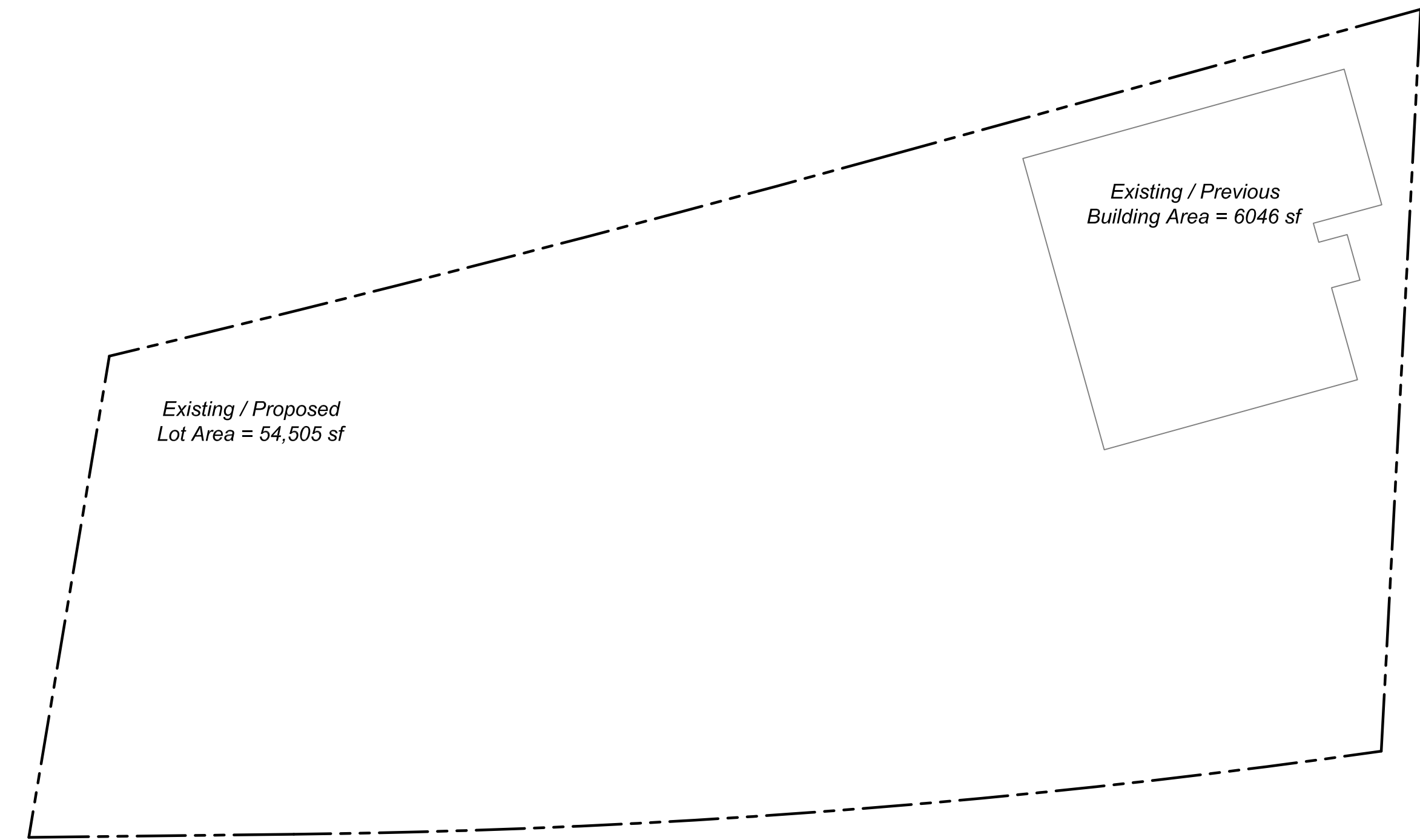




Previous / Existing Impervious Surface Area:

Total Impervious Surface area outline = 30,637 sf  
 Total Interior Permeable Surface Areas = 634 sf  
 Total (Net) Impervious Surface Areas = 30,003 sf  
 Total Lot Size = 54,505 sf  
 Total Impervious Lot Coverage = 30,003 / 54,505 = 55.0%

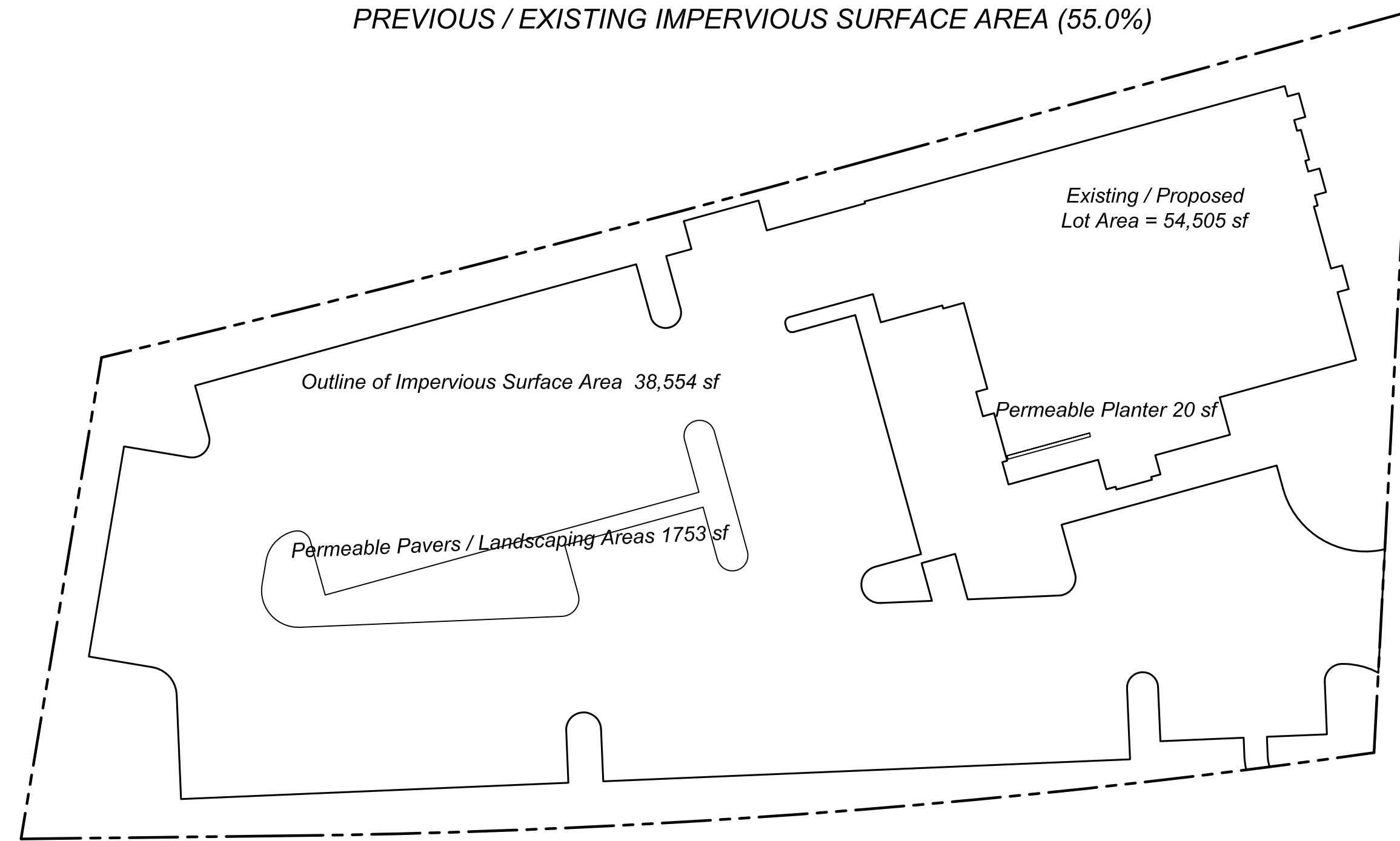
PREVIOUS / EXISTING IMPERVIOUS SURFACE AREA (55.0%)



Existing / Previous Building Coverage:

Total Building Coverage = 6,046 sf  
 Total Lot Size = 54,505 sf  
 Total Building Coverage = 6,046 / 54,505 = 11.1%

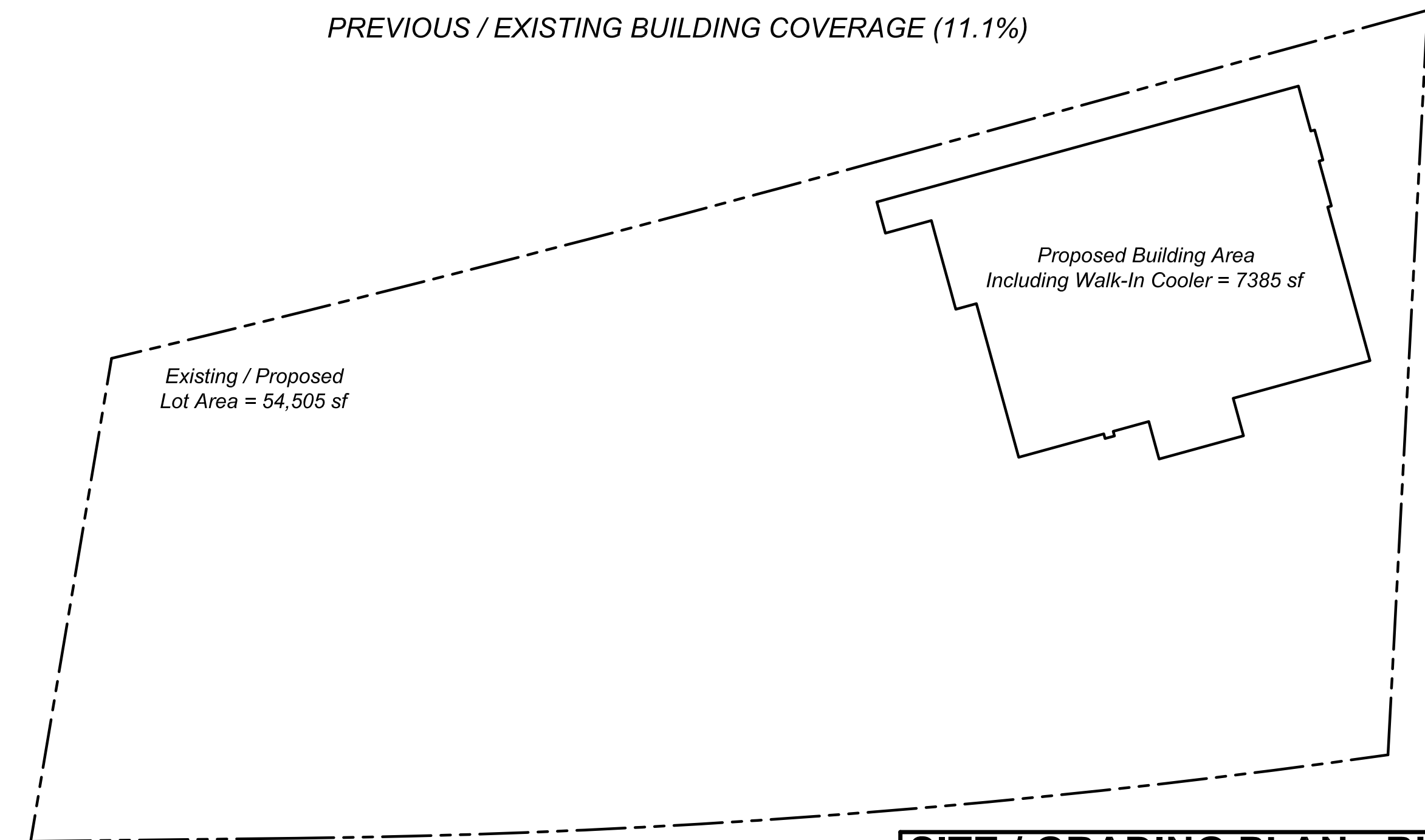
PREVIOUS / EXISTING BUILDING COVERAGE (11.1%)



Proposed Impervious Surface Area:

Total Impervious Surface area outline = 38,554 sf  
 Total Interior Permeable Surface Areas = 1,773 sf  
 Total (Net) Impervious Surface Areas = 36,781 sf  
 Total Lot Size = 54,505 sf  
 Total Impervious Lot Coverage = 36,781 / 54,505 = 67.5%

PROPOSED IMPERVIOUS SURFACE AREA (67.1%)



Proposed Building Coverage:

Total Building Coverage = 7,385 sf  
 Total Lot Size = 54,505 sf  
 Total Building Coverage = 7,385 / 54,505 = 13.5%

PROPOSED BUILDING COVERAGE (13.5%)

Approved by the City of Torrington Planning and Zoning Commission  
 Sheets 1 through 5 Inclusive

Final Approval: \_\_\_\_\_  
 Chairperson

Date: \_\_\_\_\_

Expiration Date: \_\_\_\_\_

License No. 20338

**SITE / GRADING PLAN - BUILDING COVERAGE IMPERVIOUS SURFACE AREAS**

**MARINO'S RESTAURANT**

Prepared For  
 Cheryl and Christian Marino

Torrington

Connecticut

**LAUREL ENGINEERING, LLC**

Civil, Seismic, Structural Consultants  
 48 Center Street - Winsted, Connecticut 06098

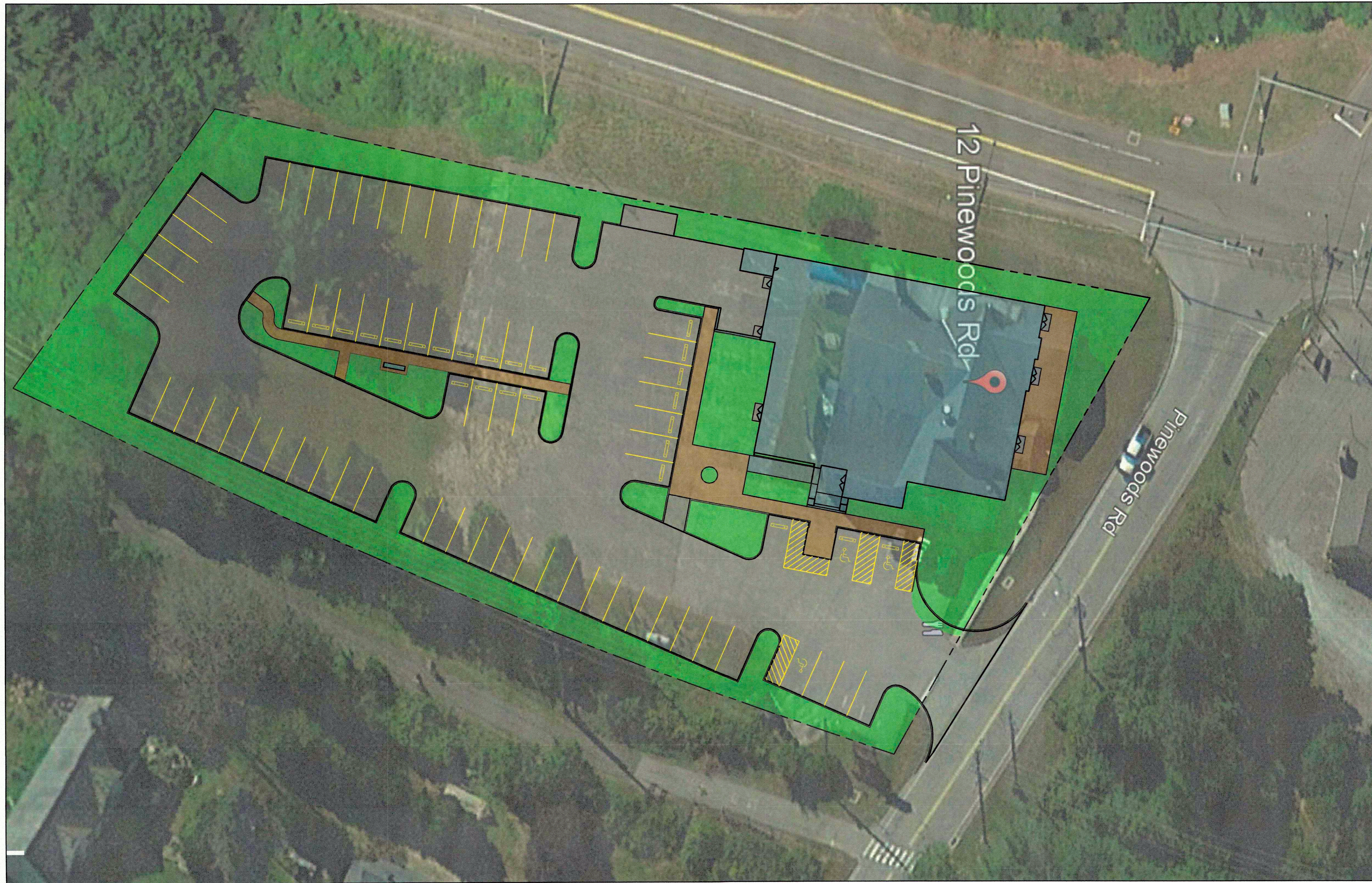
Phone (860) 379-6898

E-Mail laureleng@earthlink.net

Scale:	As Noted	Project No.:	20-105
Drawn By:	RC	File Name:	Site-Plan... .dwg
Revised Through:	09/23/20	Submitted:	09/24/20

**1B**





Approved by the City of Torrington Planning and Zoning Commission  
 Sheets 1 through 5 Inclusive

Final Approval: \_\_\_\_\_  
 Chairperson

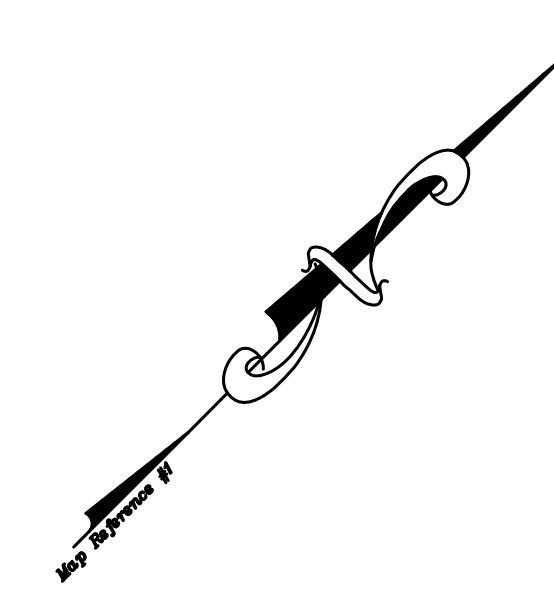
Date: \_\_\_\_\_

Expiration Date: \_\_\_\_\_

License No. 20338

<b>SITE OVERLAY</b>			
<b>MARINO'S RESTAURANT</b>			
<i>Prepared For</i> <b>Cheryl and Christian Marino</b>			
<i>Torrington</i>		<i>Connecticut</i>	
<b>LAUREL ENGINEERING, LLC</b>			
<i>Civil, Seismic, Structural Consultants</i> 48 Center Street - Winsted, Connecticut 06098			
<i>Phone (860) 379-6898</i>		<i>E-Mail laureleng@earthlink.net</i>	
Scale:	NTS	Project No.:	20-105
Drawn By:	RC	File Name:	Site-Plan... .dwg
Revised Through:	09/23/20	Submitted:	09/24/20
			<b>1C</b>





WINSTED ROAD (CT. RT. 800)

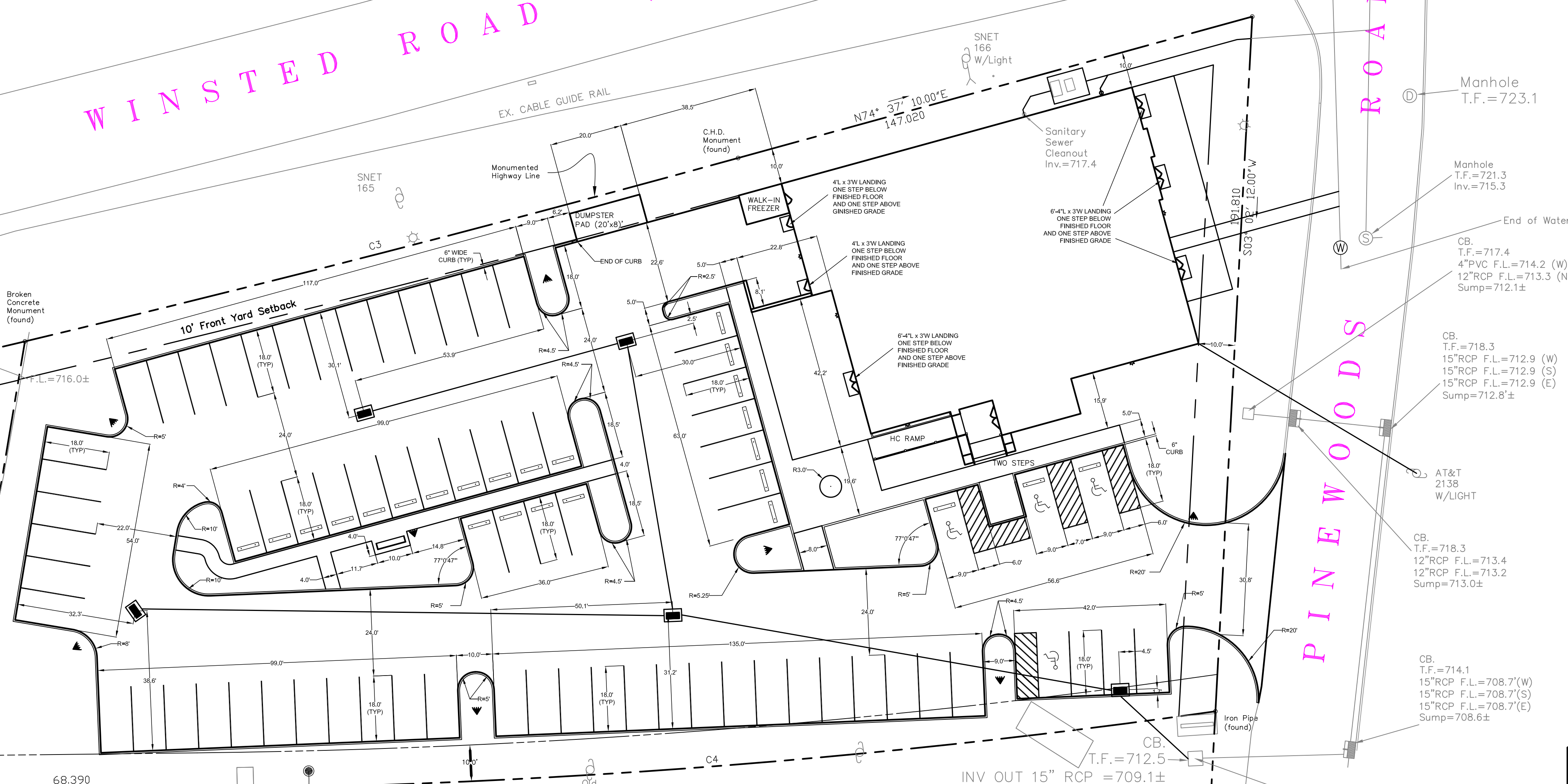
HIGHLAND LAKE ROAD

PINEWOODS ROAD

CB.  
T.F.=726.8  
Inv.=722.2 (out)

CB.  
T.F.=726.8

'PARCEL B'  
N/F  
RICKY A. SHERBURNE  
VOL.1206 - PG.271  
MBL. 242/003/006  
3490 Winsted Road  
Zone LB-R



Manhole  
T.F.=723.1

Manhole  
T.F.=721.3  
Inv.=715.3

End of Water Main

CB.  
T.F.=717.4  
4" PVC F.L.=714.2 (W)  
12" RCP F.L.=713.3 (N)  
Sump=712.1±

CB.  
T.F.=718.3  
15" RCP F.L.=712.9 (W)  
15" RCP F.L.=712.9 (S)  
15" RCP F.L.=712.9 (E)  
Sump=712.8±

AT&T  
2138  
W/LIGHT

CB.  
T.F.=718.3  
12" RCP F.L.=713.4  
12" RCP F.L.=713.2  
Sump=713.0±

CB.  
T.F.=714.1  
15" RCP F.L.=708.7 (W)  
15" RCP F.L.=708.7 (S)  
15" RCP F.L.=708.7 (E)  
Sump=708.6±

CB.  
T.F.=712.5  
15" RCP F.L.=709.1 (N)  
Sump=707.7±

N/F  
THE CONNECTICUT LIGHT AND  
POWER COMPANY  
VOL.246 - PG.54  
MBL. 242/003/004  
(FORMER NY, NH, & HARTFORD R.R. CO.)

10' Right of Way  
Refer to Vol.131-Pg.300  
& Vol.142 - Pg.359  
(dotted area)

Approved by the City of Torrington Planning and Zoning Commission  
Sheets 1 through 5 Inclusive

Final Approval: \_\_\_\_\_  
Date: \_\_\_\_\_  
Expiration Date: \_\_\_\_\_

License No. 20338

<b>SITE / LAYOUT PLAN</b>			
<b>MARINO'S RESTAURANT</b>			
Prepared For <i>Cheryl and Christian Marino</i>			
Torrington		Connecticut	
<b>LAUREL ENGINEERING, LLC</b>			
Civil, Seismic, Structural Consultants 48 Center Street - Winsted, Connecticut 06098			
Phone (860) 379-6898 <span style="float: right;">E-Mail laureleng@earthlink.net</span>			
Scale:	As Noted	Project No.:	20-105
Drawn By:	RC	File Name:	Site-Plan... .dwg
Revised Through:	09/23/20	Submitted:	09/24/20
			<b>1D</b>



**PERMANENT STABILIZATION MEASURES**  
 Implement stabilization measure within three days of final grading.

**Loam, Seed and Mulch:**  
 Immediately following rough grading activities, bring all disturbed areas to final grade with four inches of loam.

Loam shall be free of large stones and roots and other deleterious materials such as wood, pieces of pavement, metals, trash, etc. and shall be of such quality as to readily promote germination of grass seed.

Prior to seeding, lime and fertilize according to soil test or, at a minimum, apply lime at a rate of 100 lbs./1000 sq. ft. and 10-10-10 fertilizer at a rate of 6 lbs./1000 sq. ft. Work lime and fertilizer into soil.

Unless specified otherwise by an expert, apply grass seed at the following rates:

**MIXTURE 1 LBS./1000 SF**  
 Kentucky Bluegrass 2.25  
 Creeping Red Fescue 2.25  
 Perennial Ryegrass 0.50  
 5.00

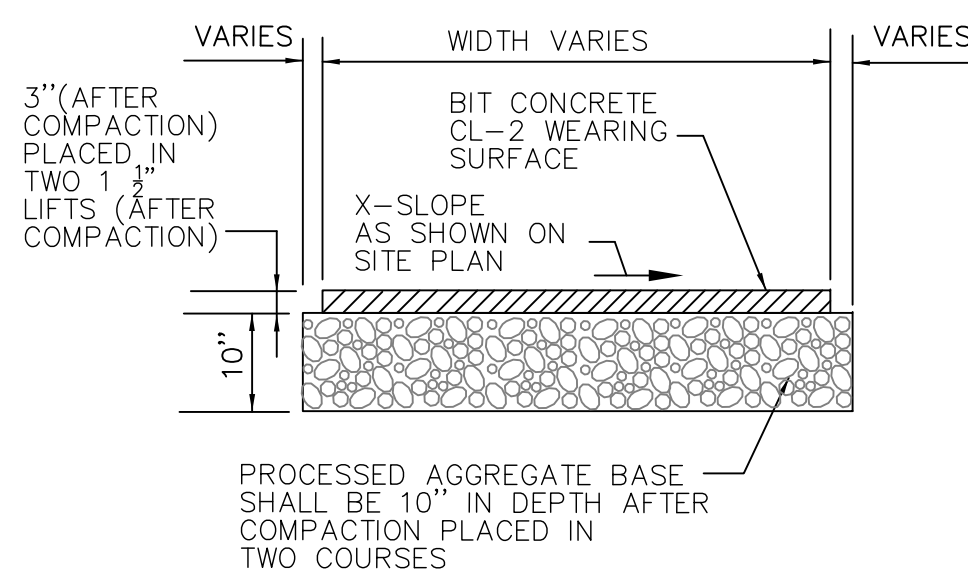
**MIXTURE 2 LBS./1000 SF**  
 Creeping Red Fescue  
 Redtop  
 Tall Fescue or  
 Smooth Bromegrass

Immediately after seeding operations, cover the seedbed with hay or straw mulch at a rate of 100 lbs./1000 sq. ft. Mulch must be free of weeds and coarse matter. Spread mulch by hand or by mulch blower. Mulch anchoring is required by tractor drawn anchoring device along contours, or by tracking with a bulldozer (cleats parallel to contour) on slopes flatter than 3H:1V. If not specifically required herein, anchored jute mesh or equal is preferred by the engineer but not required on slopes steeper than 3H:1V.

The contractor shall irrigate all seeded areas until a stand of grass, acceptable to the Owner, is established.

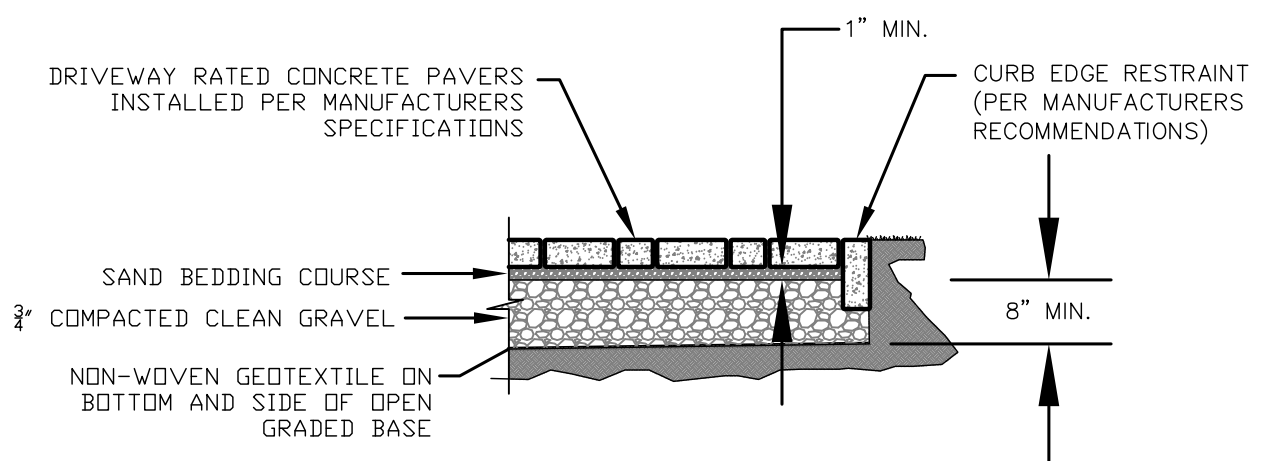
The contractor shall be responsible for all seeded areas. If topsoil, seed, and/or mulch is washed away by rainfall, the contractor shall restore the area.

Sunny areas 1 1  
 Shady areas 5 5



**TYPICAL SECTION  
 BITUMINOUS PARKING  
 AND DRIVEWAY AREAS  
 NTS**

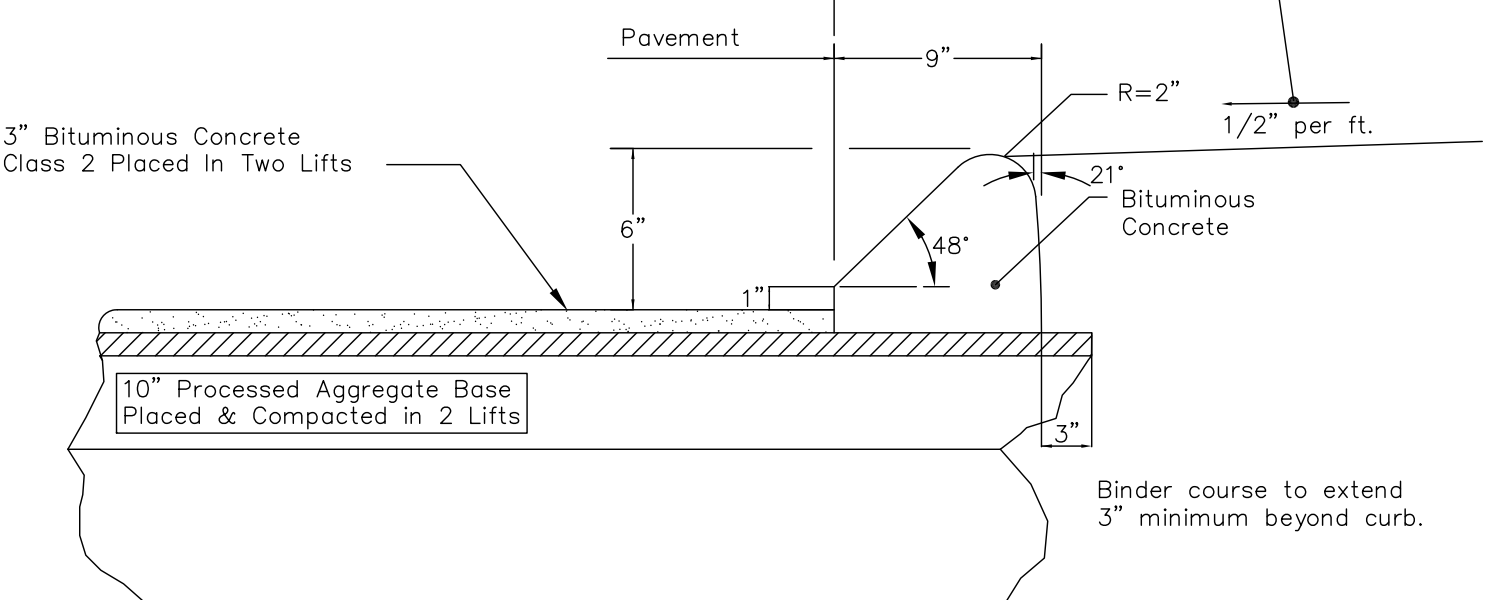
**PERMEABLE PAVER MAINTENANCE SYSTEM:**  
 MONTHLY:  
 • REMOVE DEBRIS SUCH AS GRASS CLIPPINGS, SEDIMENT, TRASH AND LEAVES SEASONALLY;  
 • VACUUM SWEEP THE PAVEMENT ONCE OR TWICE A YEAR TO REMOVE SEDIMENT AND PREVENT CLOGS  
 • EACH WINTER, REMOVE SNOW WITH A RUBBER-TIPPED SHOVEL OR PLOW TO PREVENT DAMAGE TO PAVEMENT SURFACE  
 • INSPECT STRUCTURAL INTEGRITY OF THE PERMEABLE PAVEMENT, REPAIR OR REPLACE AS NEEDED;  
 • INSPECT PERMEABLE PAVEMENT AFTER STORMS TO ENSURE PROPER DRAINAGE, WATER SHOULD NOT POND FOR MORE THAN 36 HRS.



**PERMEABLE PAVER DETAIL  
 NTS**

NOTES:

- The Bituminous Concrete lip curbing is to be set on the binder course.
- Tack coat is required if curb is not installed within 48 hours after placement of the binder course.

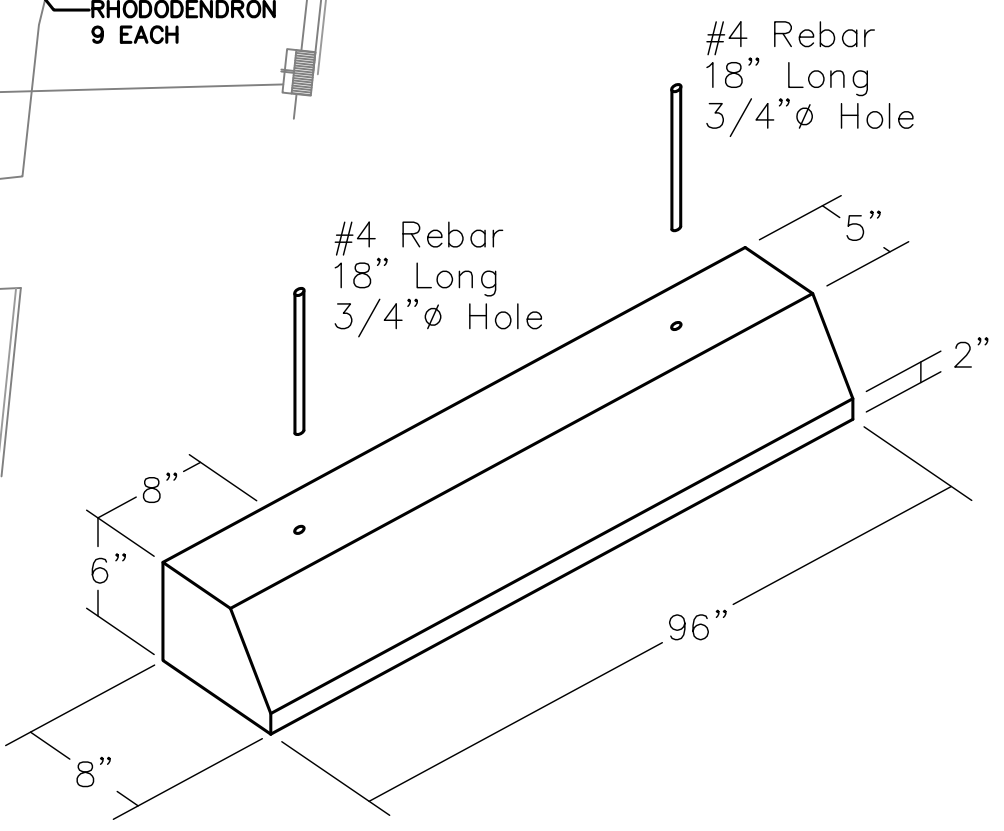
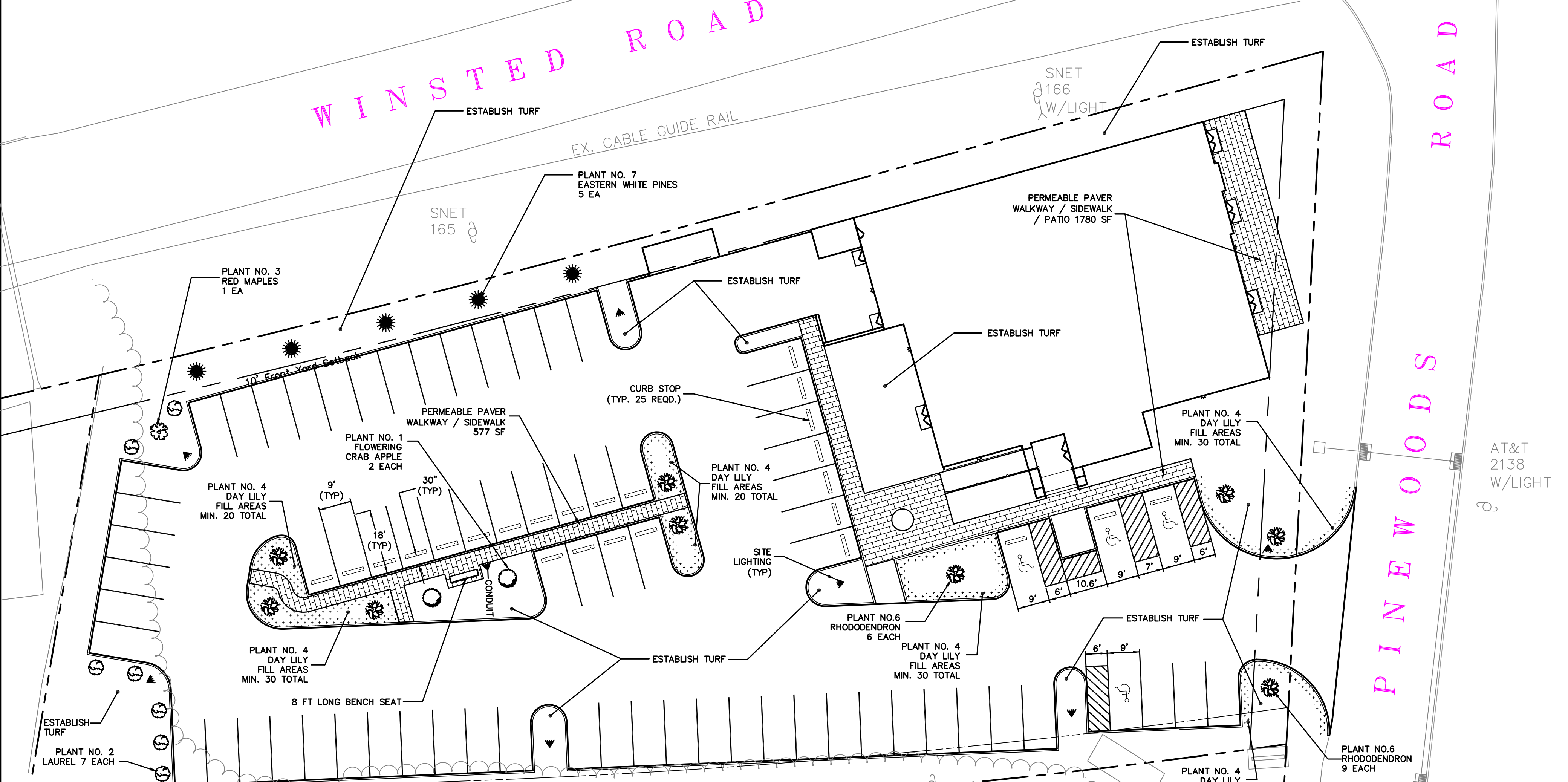


**BITUMINOUS CONCRETE  
 LIP CURBING DETAIL  
 NTS**

**PLANTINGS TABLE**

COMMON NAME	BOTANICAL NAME	NO.	QTY.	SIZE
Flowering Crab Apple (prairie fire)	Malus (ionsis)	1	2	2" to 2.5"
Laurel	Kalmia Latifolia	2	7	15" - 18"
Red Maple	Acer Rubrum	3	1	2" TO 2.5"
Day Lily	Lillium	4	160	1 gal.
Arborvitae Dark American	Thuja occidentalis	5	0	8' (Height)
Rhododendron Azalea	P.J.M.	6	9	3 gal.
Eastern White Pine	Pinus Strobus	7	5	2" to 2 1/2"

All beds shall be covered with 3" of bark mulch  
 All other un-paved areas shall receive a 4" layer of loam, lime, grass seed and mulch.



**BUMPER / CURB STOP  
 NTS**

Approved by the City of Torrington Planning and Zoning Commission  
 Sheets 1 through 5 Inclusive

Final Approval: \_\_\_\_\_ Chairperson  
 Date: \_\_\_\_\_  
 Expiration Date: \_\_\_\_\_

THIS IS AN ORIGINAL INK DRAWING PREPARED BY LAUREL ENGINEERING, LLC DRAWING PREPARED NOVEMBER XX, 2020

**LANDSCAPING / PAVEMENT MARKING PLAN  
 AND MISCELLANEOUS SITE DETAILS**

**MARINO'S RESTAURANT**

Prepared For  
 Cheryl and Christian Marino

Torrington Connecticut

**LAUREL ENGINEERING, LLC**

Civil, Seismic, Structural Consultants  
 48 Center Street - Winsted, Connecticut 06098

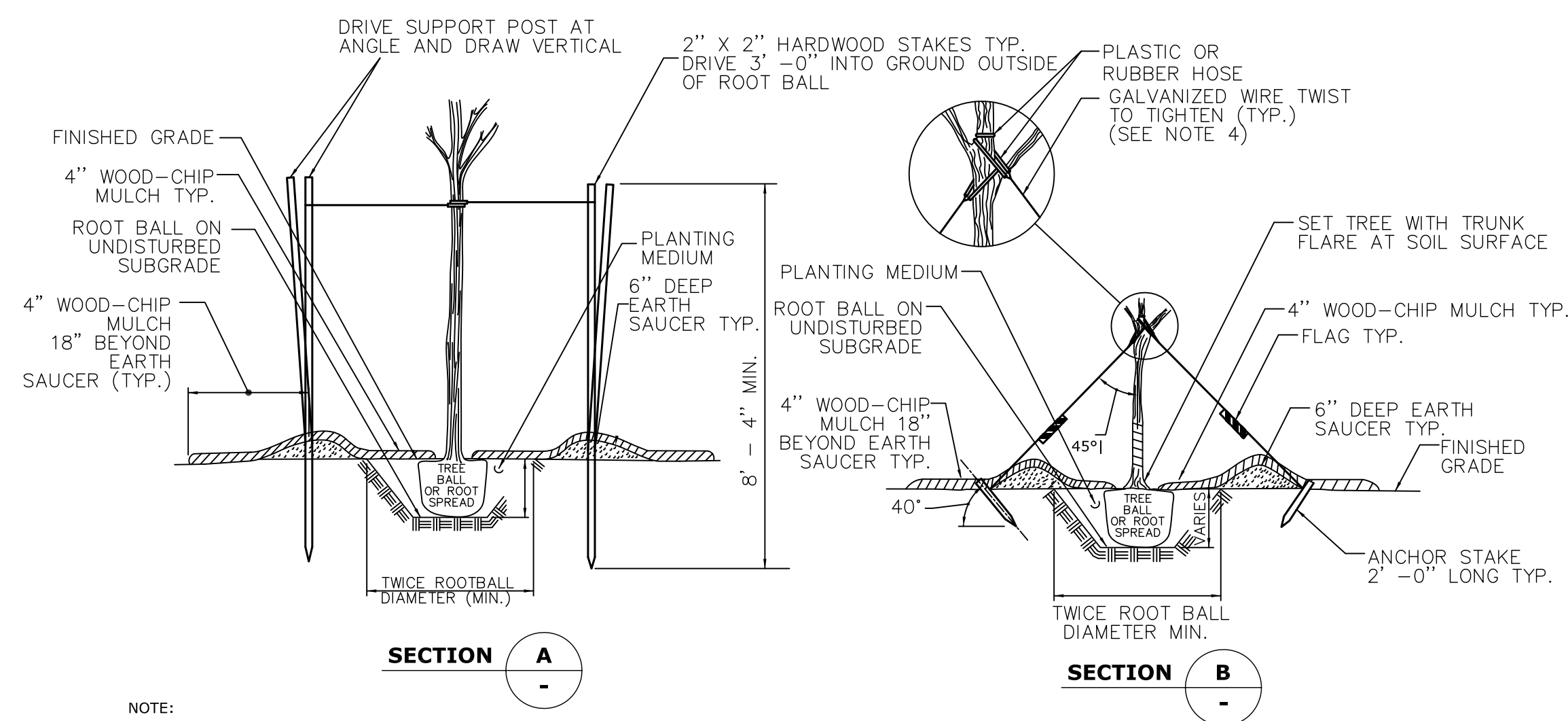
Phone (860) 379-6898 E-Mail laureleng@earthlink.net

Scale:	As Noted	Project No.:	20-105
Drawn By:	RC	File Name:	Landsc... .dwg
Revised Through:	09/23/20	Submitted:	09/24/20

Drawing No.  
**2A**

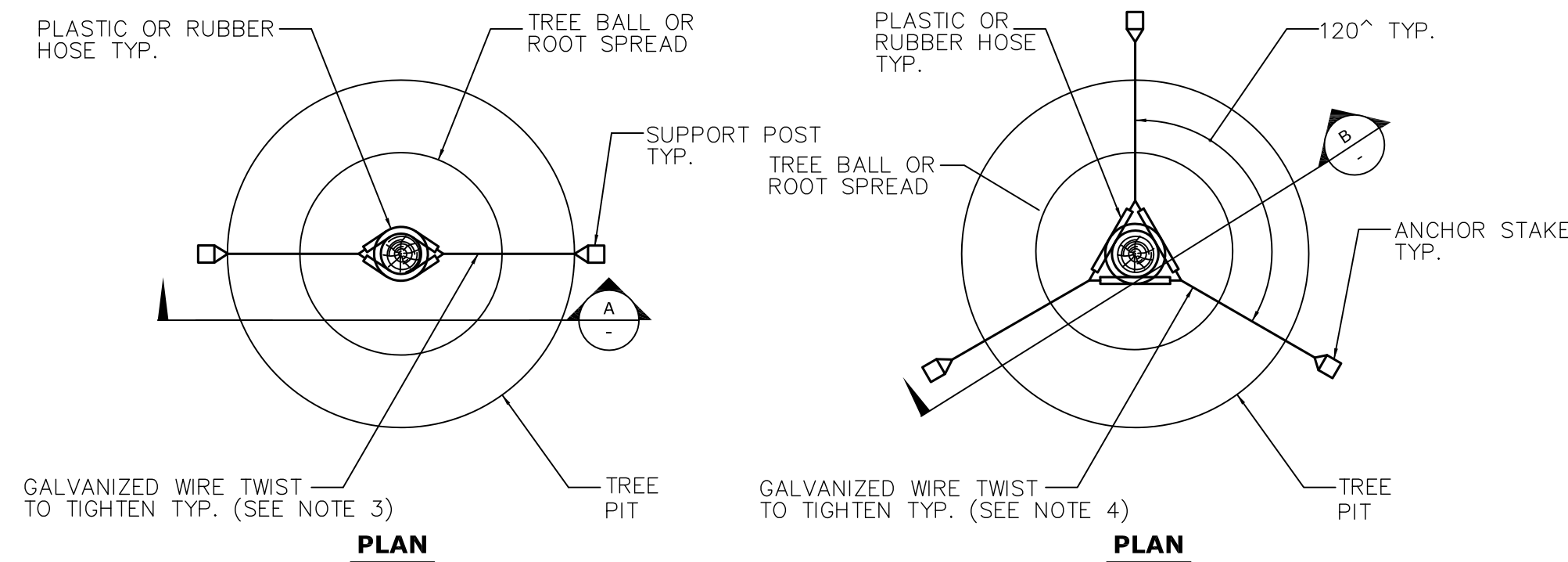
License No. 20338



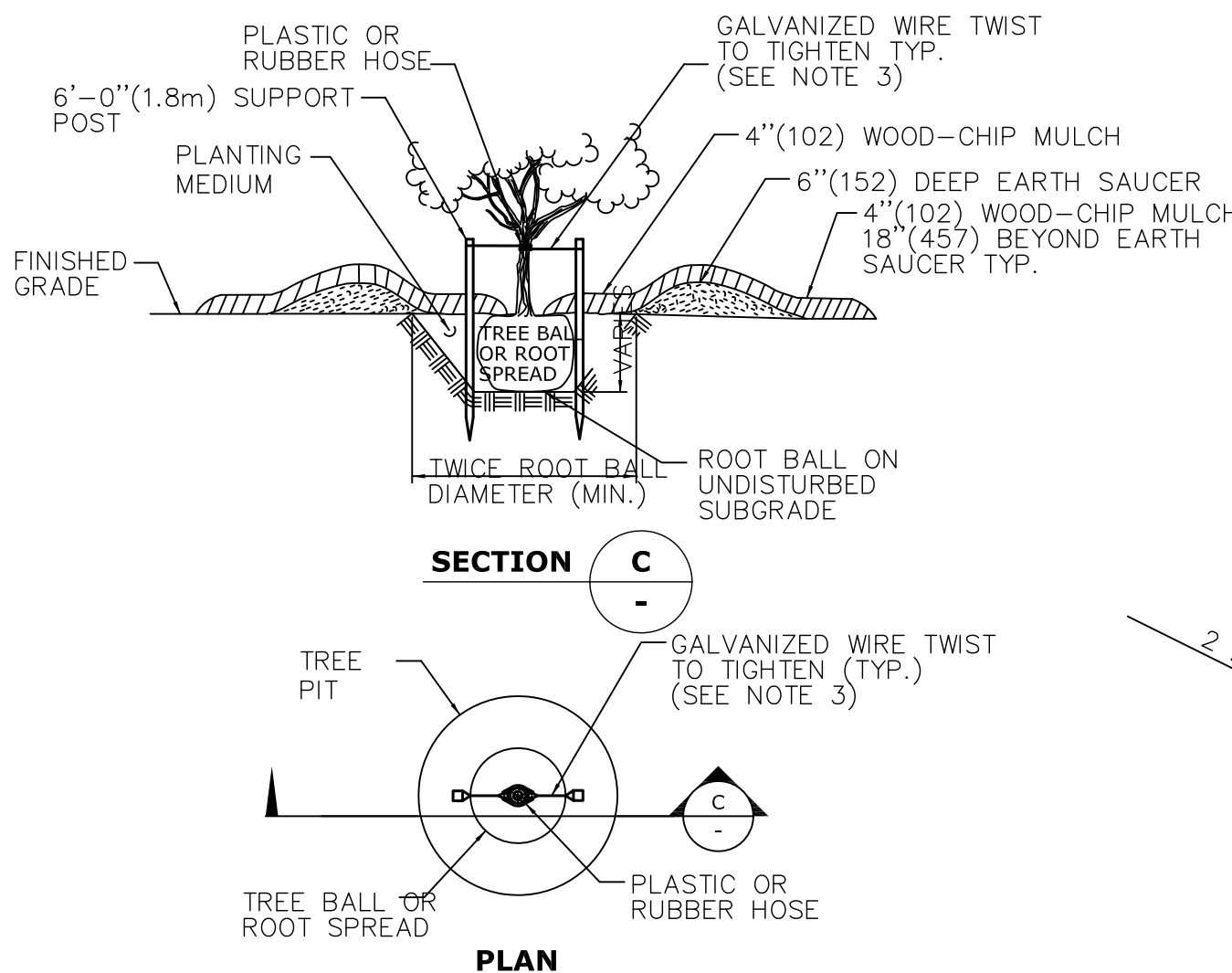


NOTE:  
USE 3 POSTS FOR STAKING DECIDUOUS TREES 3"(76) CALIPER OR GREATER AND EVERGREEN TREES 8' (2.4m) HIGH OR GREATER. USE 2 POSTS FOR STAKING DECIDUOUS TREES LESS THAN 3"(76) CALIPER AND EVERGREEN TREES LESS THAN 8' (2.4m) HIGH.

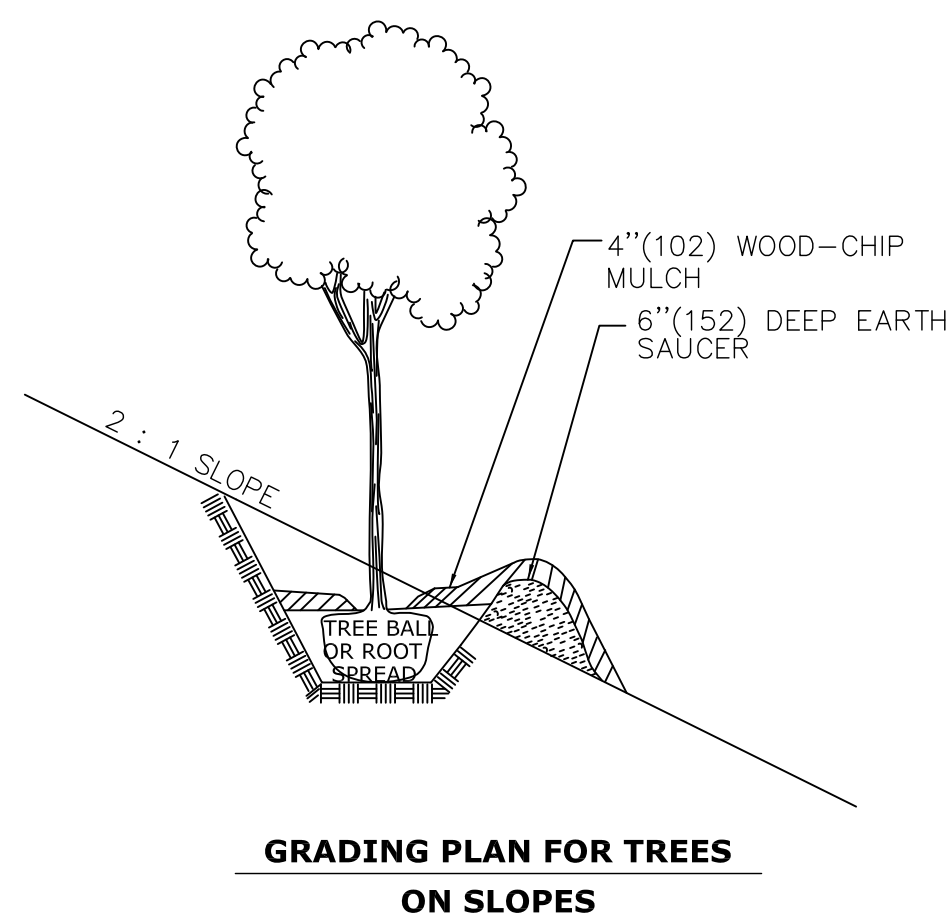
**GYUING PLAN**



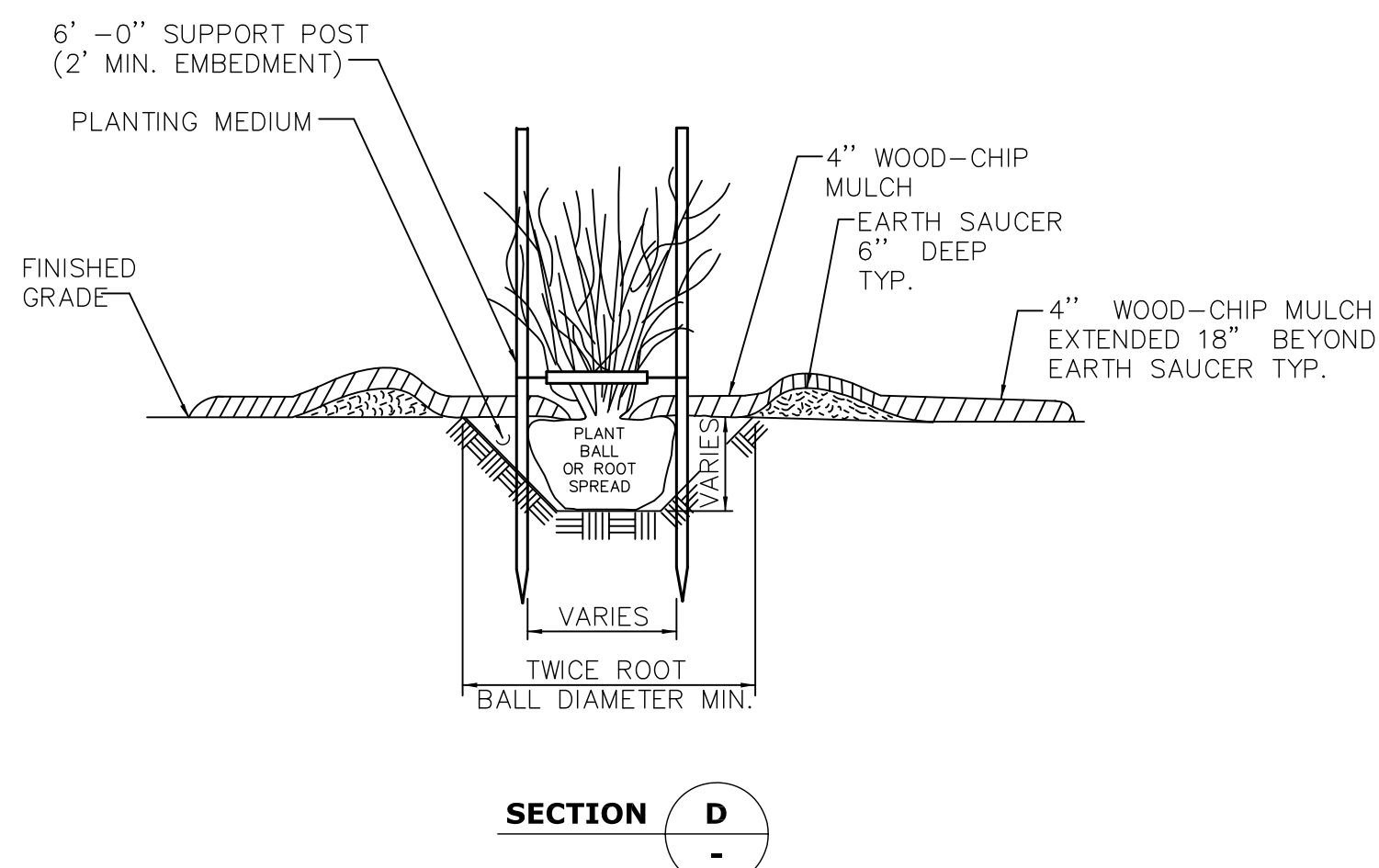
**STAKING PLAN**



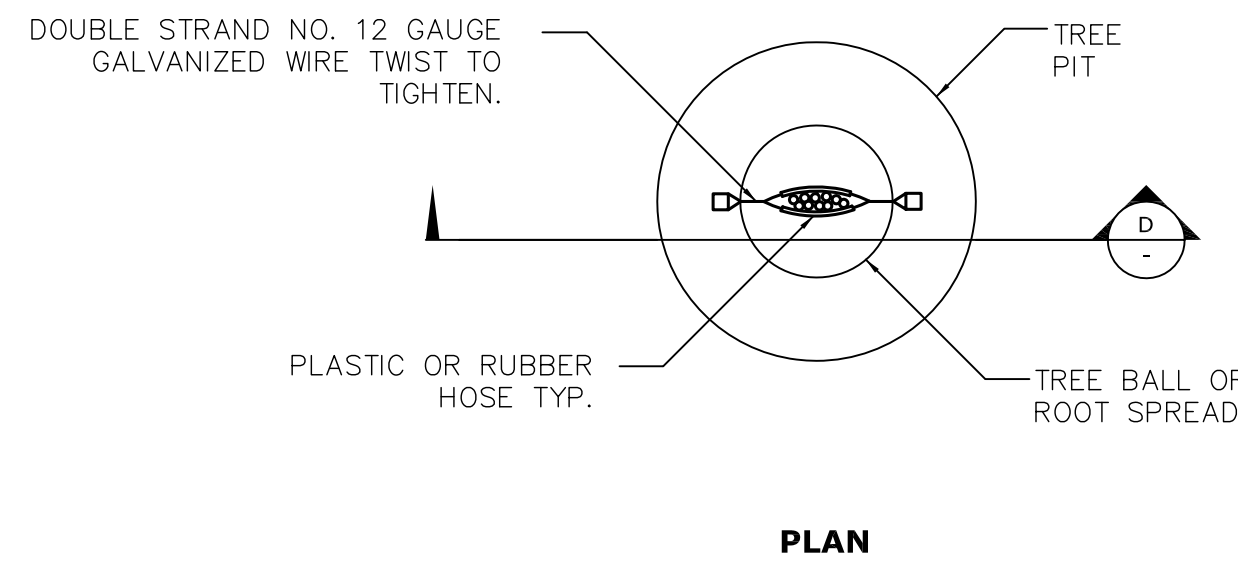
**STAKING PLAN FOR LOW BRANCHING DECIDUOUS AND EVERGREEN TREES FROM 5'(1.5m) TO 8'(2.4m) HIGH.**



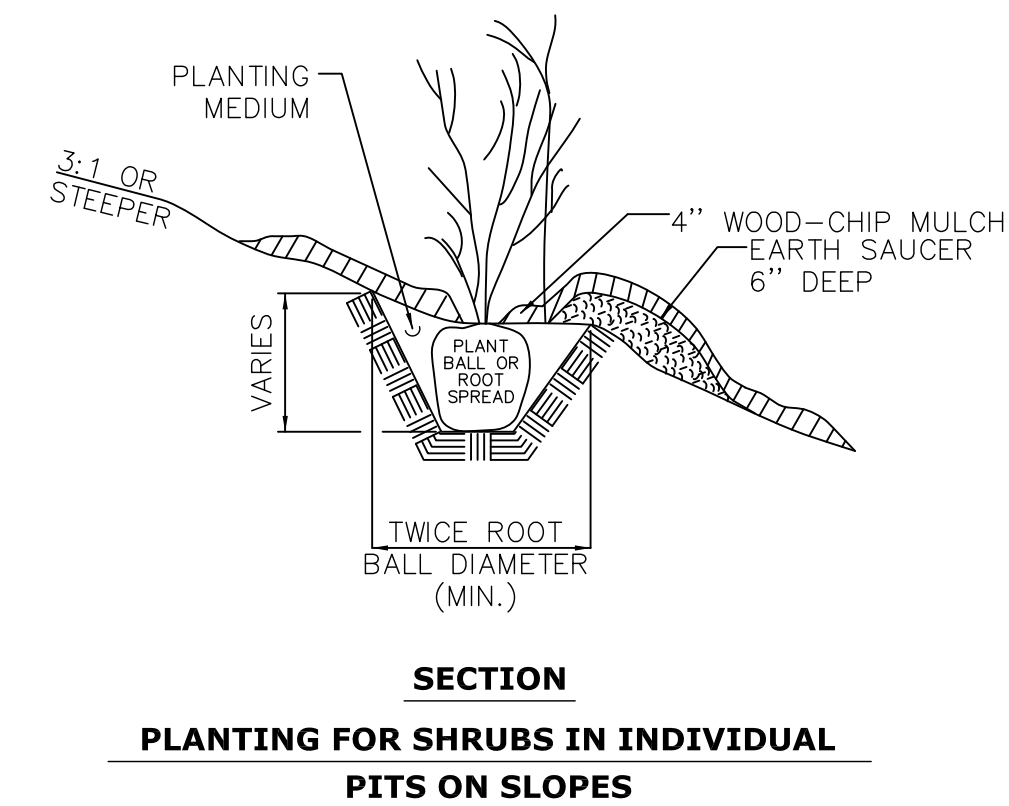
**GRADING PLAN FOR TREES ON SLOPES**



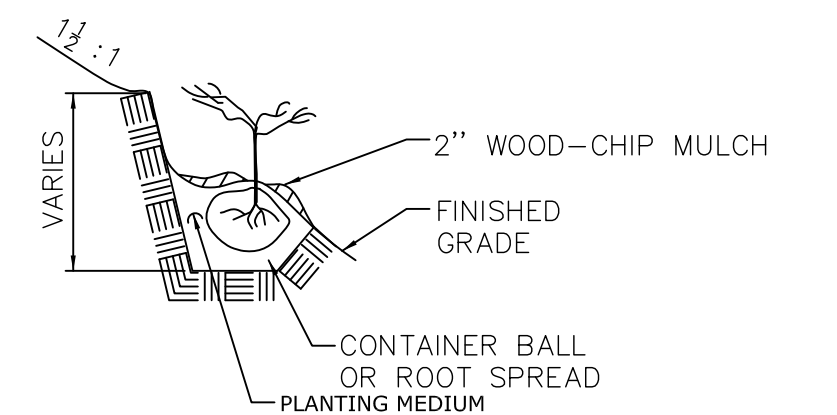
**SECTION D**



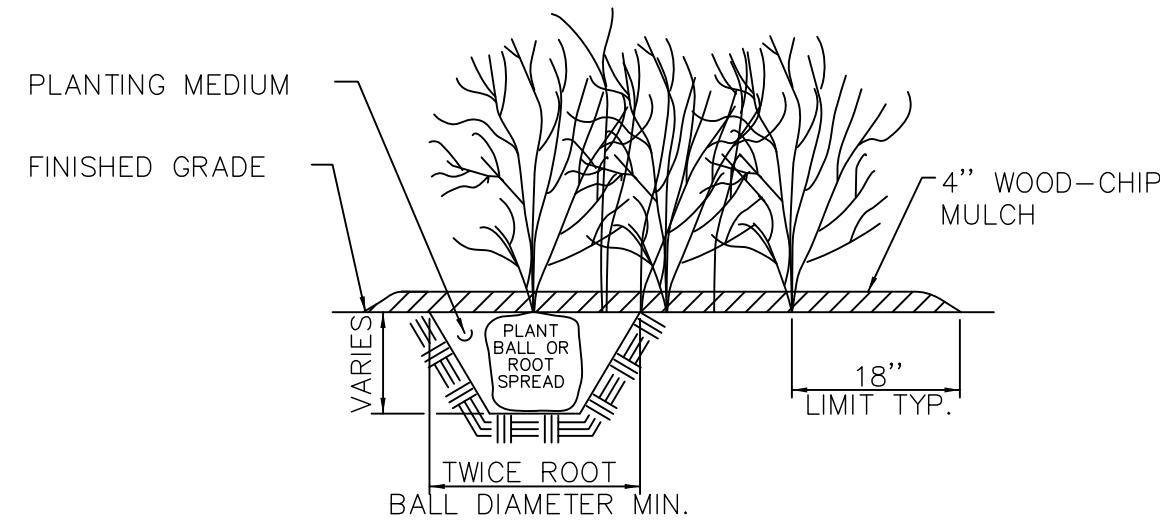
**STAKING FOR MULTI-STEMMED DECIDUOUS TREES FROM 5'(1.5m) TO 10'(3.0m) HIGH**



**SECTION PLANTING FOR SHRUBS IN INDIVIDUAL PITS ON SLOPES**



**PLANTING FOR SEEDLINGS, VINES AND GROUND COVER PLANTS IN PITS ON SLOPES**



\*\*\* UNLESS OTHERWISE DIRECTED, WOOD-CHIP MULCH SHALL BE PLACED TO A LIMIT OF 18"(457) BEYOND THE CENTER OF THE OUTERMOST SHRUBS IN SHRUB BED.

**PLANTING FOR SHRUBS IN BEDS**

**PLANTINGS TABLE**

COMMON NAME	BOTANICAL NAME	NO.	QTY.	SIZE
Flowering Crab Apple (prairie fire)	Malus (ionsis)	1	2	2" to 2.5"
Laurel	Kalmia Latifolia	2	7	15" - 18"
Red Maple	Acer Rubrum	3	1	2" TO 2.5"
Day Lily	Lillium	4	100	1 gal.
Arborvitae Dark American	Thuja occidentalis	5	10	8' (Height)
Rhododendron Azalea	P.J.M.	6	6	3 gal.
Eastern White Pine	Pinus Strobus	7	5	2" to 2 1/2"

All beds shall be covered with 3" of bark mulch  
All other un-paved areas shall receive a 4" layer of loam, lime, grass seed and mulch.

**GENERAL NOTES:**

1. THE PLANTING PIT SIZE SHALL BE TWICE THE DIAMETER OF THE ROOT BALL IN WIDTH AND 2" LESS THAN THE HEIGHT OF THE ROOT BALL.
2. ALL EXTERIOR PACKAGING MATERIAL APPLIED TO PLANTS SHALL BE REMOVED AFTER THE PLANT IS LOCATED IN THE PLANTING PIT. CUT AND REMOVE TWINE, BURLAP OR WIRE BASKETS FROM THE TOP 2/3RDS OF THE ROOT BALL.
3. USE DOUBLE STRAND NO. 12 WIRE FOR DECIDUOUS TREES GREATER THAN OR EQUAL TO 3" CALIPER AND USE DOUBLE STRAND NO. 10 WIRE FOR EVERGREEN TREES GREATER THAN OR EQUAL TO 8"(203) CALIPER.
4. TREE TRUNK WRAPPING MATERIAL SHALL BE USED AS DIRECTED BY THE ENGINEER.
5. PLANTING PITS FOR INDIVIDUAL SHRUBS ON SLOPES SHALL BE THREE TIMES THE DIAMETER OF THE ROOT BALL IN WIDTH.
6. CALIPER (SIZE) SHALL BE MEASURED AT 6" ABOVE FINISHED GRADE.

**LANDSCAPING DETAILS / NOTES**

**MARINO'S RESTAURANT**

Prepared For  
Cheryl and Christian Marino

Torrington Connecticut

**LAUREL ENGINEERING, LLC**

Civil, Seismic, Structural Consultants  
48 Center Street - Winsted, Connecticut 06098

Phone (860) 379-6898 E-Mail laureleng@earthlink.net

License No. 20338

Scale:	As Noted	Project No.:	20-105
Drawn By:	RC	File Name:	Landsc... .dwg
Revised Through:	09/10/20	Submitted:	09/24/20

**2B**

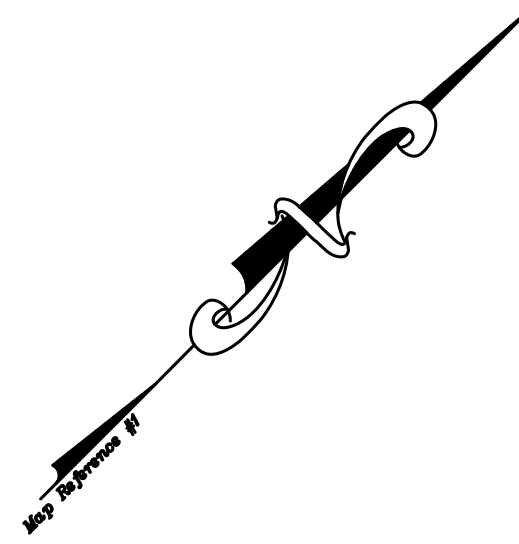
Approved by the City of Torrington Planning and Zoning Commission  
Sheets 1 through 5 Inclusive

Final Approval: \_\_\_\_\_  
Chairperson

Date: \_\_\_\_\_

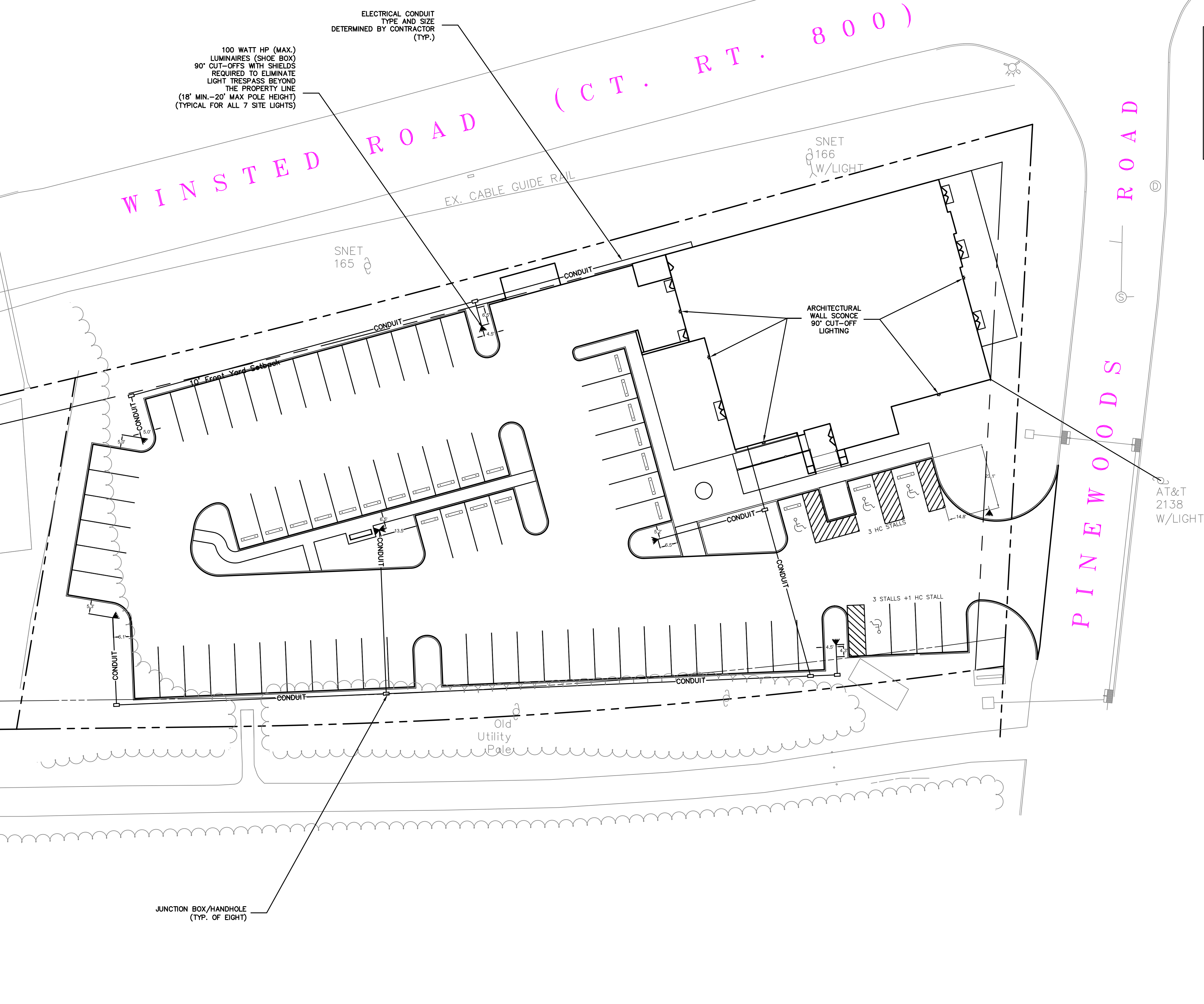
Expiration Date: \_\_\_\_\_





100 WATT HP (MAX.)  
LUMINAIRES (SHOE BOX)  
90° CUT-OFFS WITH SHIELDS  
REQUIRED TO ELIMINATE  
LIGHT TRESPASS BEYOND  
THE PROPERTY LINE  
(18' MIN.-20' MAX POLE HEIGHT)  
(TYPICAL FOR ALL 7 SITE LIGHTS)

ELECTRICAL CONDUIT  
TYPE AND SIZE  
DETERMINED BY CONTRACTOR  
(TYP.)



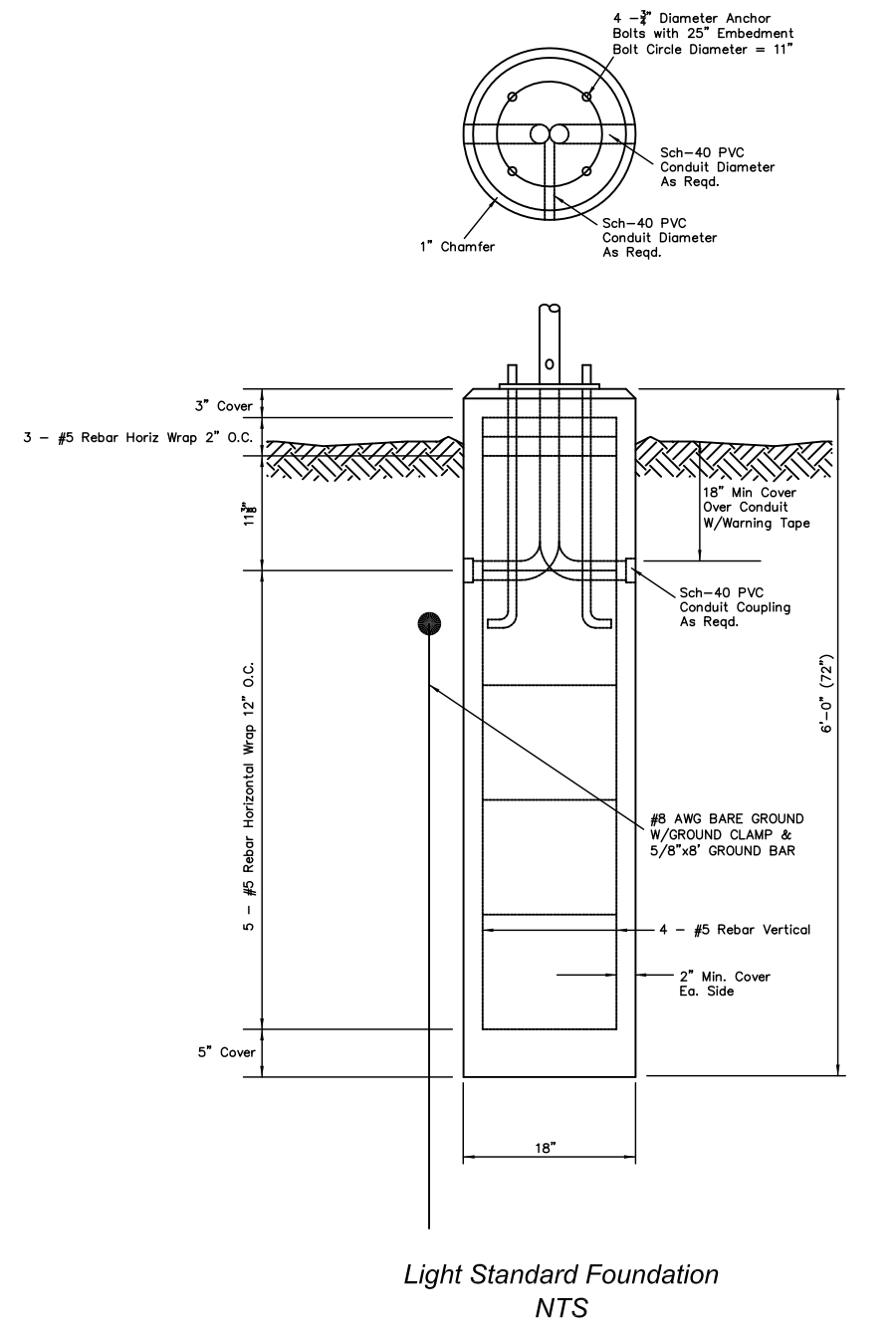
THIS IS AN ORIGINAL INK DRAWING.  
PREPARED BY LAUREL ENGINEERING, LLC  
DRAWING PREPARED NOVEMBER XX, 2020

Approved by the City of Torrington Planning and Zoning Commission  
Sheets 1 through 5 Inclusive

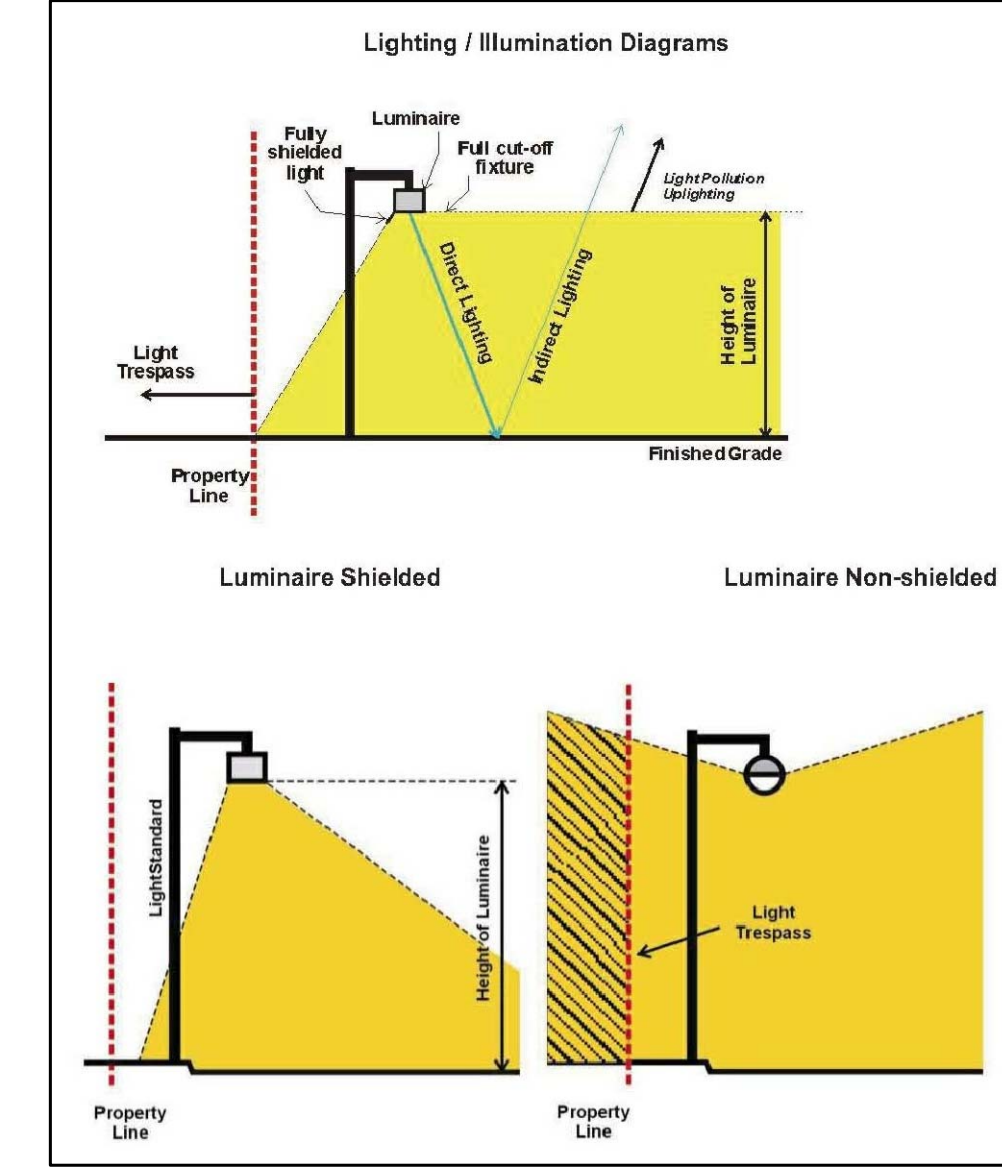
Final Approval: \_\_\_\_\_  
Chairperson

Date: \_\_\_\_\_

Expiration Date: \_\_\_\_\_



- Lighting Notes:
1. Site contractor shall supply light post, luminaire and other lighting component product equipment cut sheets for approval by the Construction Project Manager prior to purchasing or installing.
  2. All conduit and site electrical systems shall meet the requirements of applicable State of CT Building Code, applicable Electrical codes and Municipal requirements.
  3. Max. luminaire wattage = 100 watts.
  4. All site lights shall be full cut-off fixtures.
  5. Contractor shall coordinate overhead electrical service to the building with the electrical utility company.



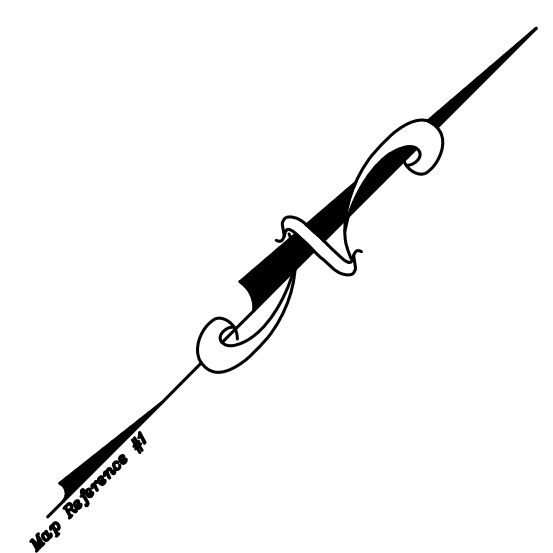
- 5.17.4 GENERAL REQUIREMENTS
1. All exterior lights and sign illumination shall be designed, located, installed and directed in such a manner as to:
    - a. Prevent direct or objectionable glare, light trespass, spill light, or obtrusive light;
    - b. Be shielded if required to control light trespass.
    - c. Employ soft, transitional light levels that are consistent from area to area;
    - d. Minimize contrast between light sources, lit areas and dark surroundings;
    - e. Be confined within the target area.
    - f. Use full cut off fixtures.
  2. In all non-residential districts and in all areas adjacent to a residential lot, no externally mounted direct light source shall be visible at the lot line at ground level or above. The illumination measured at the lot line shall be zero (0.0) foot-candles, excluding driveway entrances.
  3. Lighting designed to highlight flagpoles shall be low level (no more than 100-watt incandescent equivalent) and shall be targeted directly at the flag.
  4. Lighting shall include timers or dimmers or sensors to reduce unnecessary light level during non-business hours to a minimum level required for overnight security.
  5. The height of luminaires, except streetlights in public right-of-ways, shall be the minimum height necessary to provide adequate illumination, but shall not exceed a height of twenty-four (24) feet. The height of a luminaire shall be measured from the finished grade (not the top of a supporting concrete base) to the bottom of the luminaire.
  6. Light standards within a parking lot shall be located within landscaped islands or buffer strips, where possible and shall be set back two (2) feet from any parking space unless wheel-stops are provided.
  7. In reviewing and approving outdoor lighting, the Commission may utilize recommendations for lighting levels as issued by the Illuminating Engineering Society of North America, the International Dark-Sky Association, or other reference.
  8. The use of owner owned utility poles for outdoor lighting is permitted provided they meet the requirements of Section 5.17.4.
  9. Any light determined by the ZFO to be obtrusive, spill light, upward lighting, light trespass, or otherwise not in compliance with these regulations shall constitute a violation.

City of Torrington CT  
Zoning Regulations Partial Lighting Requirements Section  
NTS

<b>LIGHTING PLAN</b>			
<b>MARINO'S RESTAURANT</b>			
Prepared For <i>Cheryl and Christian Marino</i>			
Torrington		Connecticut	
<b>LAUREL ENGINEERING, LLC</b>			
Civil, Seismic, Structural Consultants 48 Center Street - Winsted, Connecticut 06098			
Phone (860) 379-6898      E-Mail laureleng@earthlink.net			
Scale:	As Noted	Project No.:	20-105
Drawn By:	RC	File Name:	Lighting... .dwg
Revised Through:	09/23/20	Submitted:	09/24/20
			<b>3A</b>

License No. 20338





Symbol	Qty	Label	Arrangement	Lum. Lumens	Lum. Watts	LLF	BUG Rating	Description
S-4h	1	S-4h	SINGLE	7293	70	0.900	B1-U0-G2	Lithonia DSK1 LED P2 40K BLC MVOLT SPA DBLXD - SSS 16-4C DM19AS DBLXD 16FT POLE
S3-2	1	S3-2	BACK-BACK	8640	70	0.900	B2-U0-G2	Lithonia DSK1 LED P2 40K TSM MVOLT SPA DBLXD - SSS 16-4C DM28AS DBLXD 16FT POLE
S-4h	3	S-4h	SINGLE	6945	70	0.900	B1-U0-G2	Lithonia DSK1 LED P2 40K TSM MVOLT SPA HS DBLXD - SSS 16-4C DM19AS DBLXD 16FT POLE
S5	2	S5	SINGLE	9234	70	0.900	B3-U0-G2	Lithonia DSK1 LED P2 40K TSM MVOLT SPA DBLXD - SSS 16-4C DM19AS DBLXD 16FT POLE
W3	1	W3	SINGLE	1488	13.3	0.900	B0-U0-G1	Lithonia DSKW1 LED 10C 350 40K T3M MVOLT DBLXD
W4	4	W4	SINGLE	1458	13.3	0.900	B0-U0-G1	Lithonia DSKW1 LED 10C 350 40K T4M MVOLT DBLXD

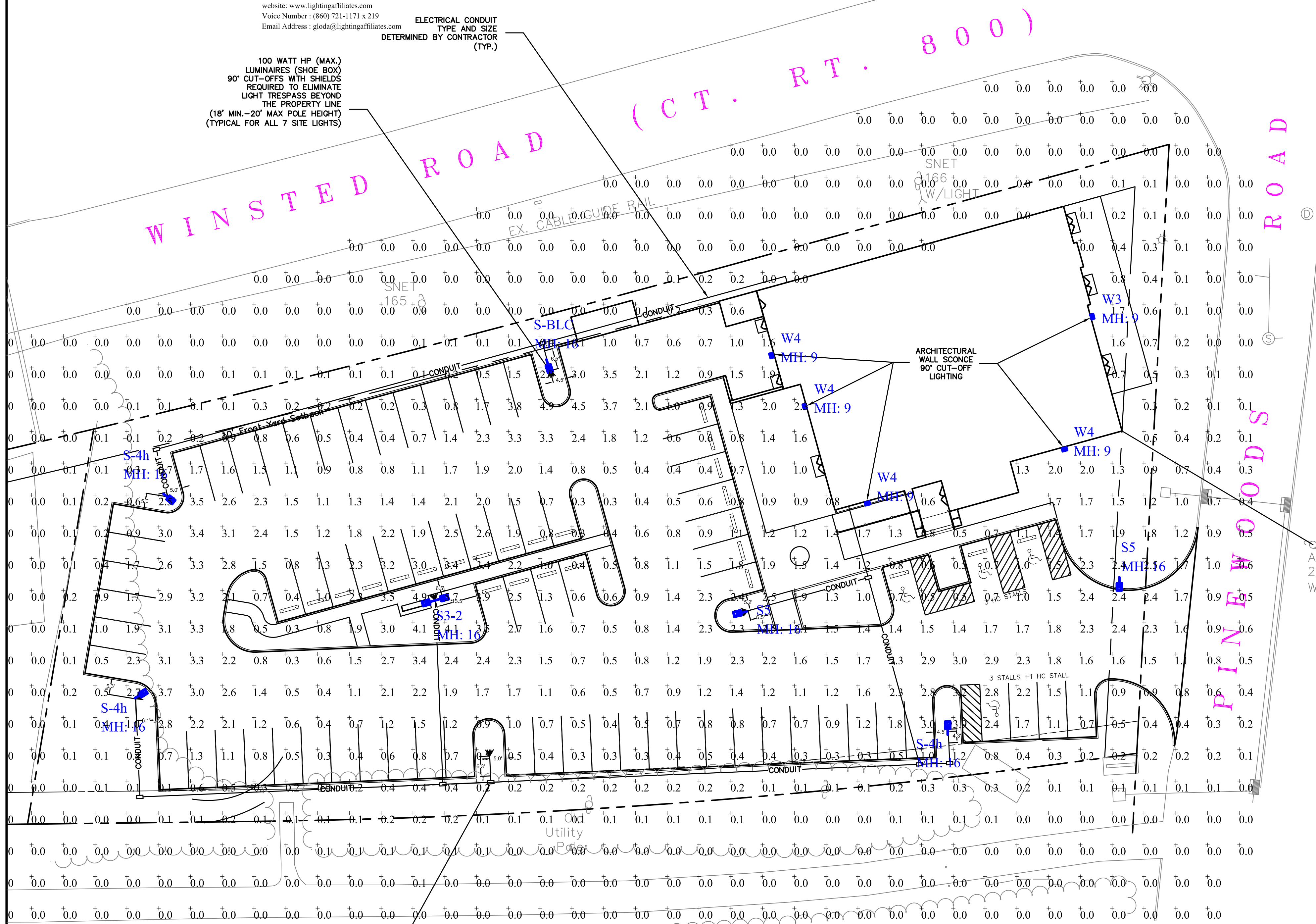
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE	Illuminance	Fc	0.71	5.7	0.0	N.A.	N.A.
PARKING	Illuminance	Fc	1.51	5.7	0.1	15.10	57.00

Greg Loda / Tom Hannigan  
Lighting Affiliates  
1208 Cromwell Ave  
Rocky Hill, CT 06067

website: www.lightingaffiliates.com  
Voice Number: (860) 721-1171 x 219  
Email Address: gloda@lightingaffiliates.com

**ELECTRICAL CONDUIT TYPE AND SIZE DETERMINED BY CONTRACTOR (TYP.)**

**100 WATT HP (MAX.) LUMINAIRES (SHOE BOX) 90° CUT-OFFS WITH SHIELDS REQUIRED TO ELIMINATE LIGHT TRESPASS BEYOND THE PROPERTY LINE (18' MIN.-20' MAX POLE HEIGHT) (TYPICAL FOR ALL 7 SITE LIGHTS)**



HIGHLAND LAKE ROAD

WINSTED ROAD (CT. RT. 800)

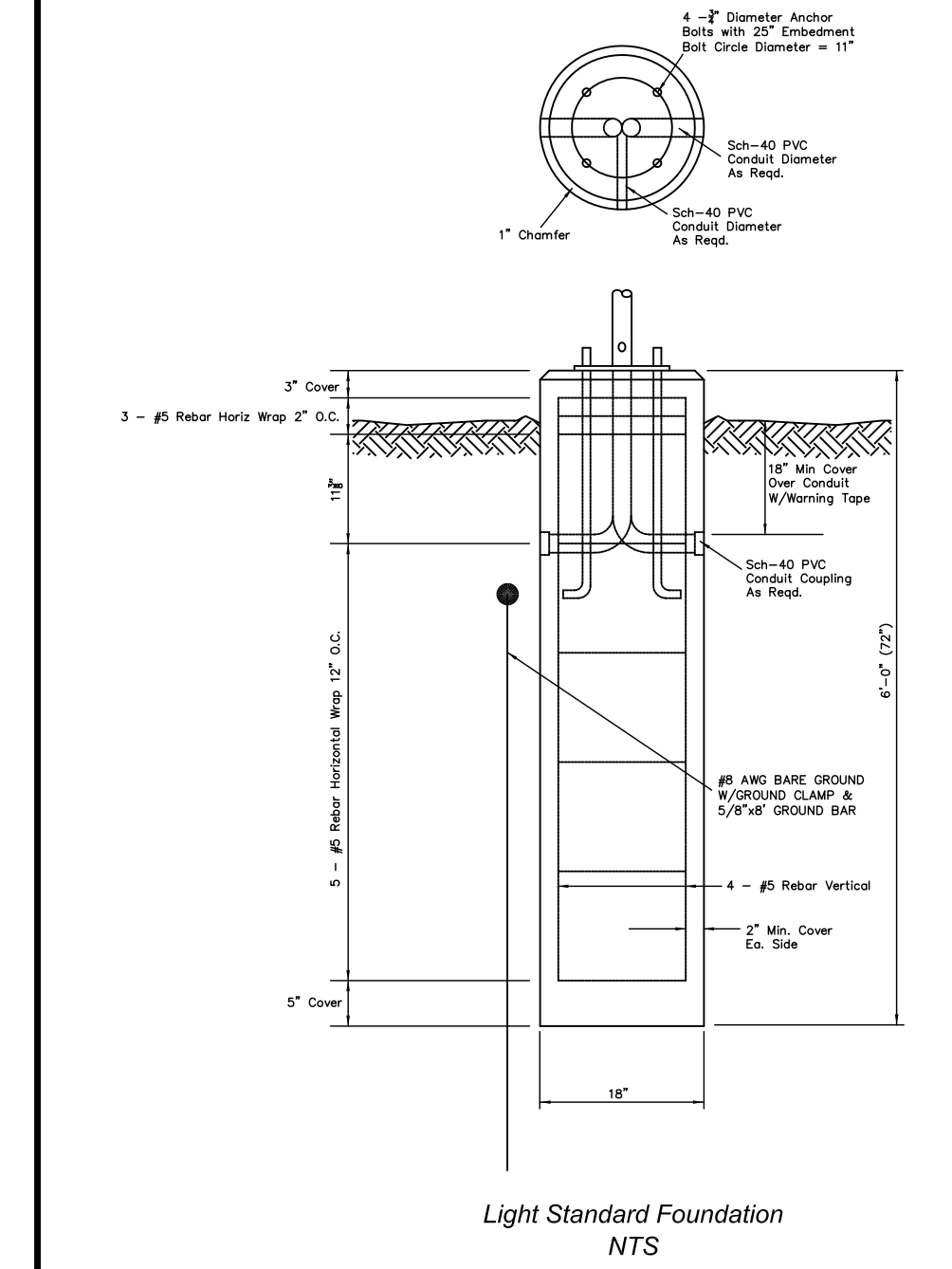
PINE WOODS ROAD

Approved by the City of Torrington Planning and Zoning Commission  
Sheets 1 through 5 Inclusive

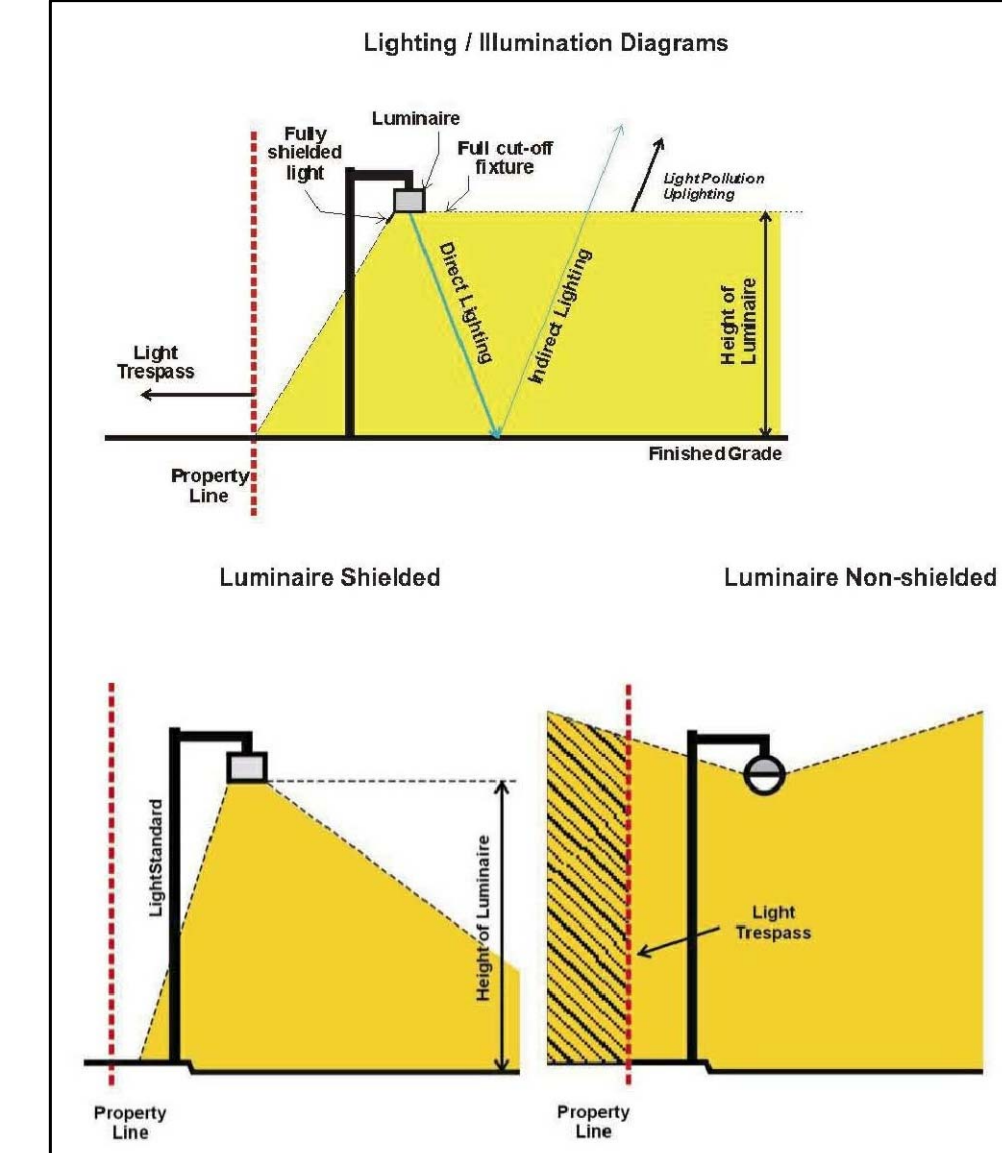
Final Approval: \_\_\_\_\_ Chairperson

Date: \_\_\_\_\_

Expiration Date: \_\_\_\_\_



- Lighting Notes:**
1. Site contractor shall supply light post, luminaire and other lighting component product equipment cut sheets for approval by the Construction Project Manager prior to purchasing or installing.
  2. All conduit and site electrical systems shall meet the requirements of applicable State of CT Building Code, applicable Electrical codes and Municipal requirements.
  3. Max. luminaire wattage = 100 watts.
  4. All site lights shall be full cut-off fixtures.
  5. Contractor shall coordinate overhead electrical service to the building with the electrical utility company.



- 5.17.4 GENERAL REQUIREMENTS**
1. All exterior lights and sign illumination shall be designed, located, installed and directed in such a manner as to:
    - a. Prevent direct or objectionable glare, light trespass, spill light, or obstructive light;
    - b. Be shielded if required to control light trespass;
    - c. Employ soft, transitional light levels that are consistent from area to area;
    - d. Minimize contrast between light sources, lit areas and dark surroundings;
    - e. Be confined within the target area.
    - f. Use full cut off fixtures.
  2. In all non-residential districts and in all areas adjacent to a residential lot, no externally mounted direct light source shall be visible at the lot line at ground level or above. The illumination measured at the lot line shall be zero (0.0) foot-candles, excluding driveway entrances.
  3. Lighting designed to highlight flagpoles shall be low level (no more than 100-watt incandescent equivalent) and shall be targeted directly at the flag.
  4. Lighting shall include timers or dimmers or sensors to reduce unnecessary light level during non-business hours to a minimum level required for overnight security.
  5. The height of luminaires, except streetlights in public right-of-ways, shall be the minimum height necessary to provide adequate illumination, but shall not exceed a height of twenty-four (24) feet. The height of a luminaire shall be measured from the finished grade (not the top of a supporting concrete base) to the bottom of the luminaire.
  6. Light standards within a parking lot shall be located within landscaped islands or buffer strips, where possible and shall be set back two (2) feet from any parking space unless wheel-stops are provided.
  7. In reviewing and approving outdoor lighting, the Commission may utilize recommendations for lighting levels as issued by the Illuminating Engineering Society of North America, the International Dark-Sky Association, or other reference.
  8. The use of owner-owned utility poles for outdoor lighting is permitted provided they meet the requirements of Sections 5.17.4.
  9. Any light determined by the ZFO to be obstructive, spill light, upward lighting, light trespass, or otherwise not in compliance with these regulations shall constitute a violation.

City of Torrington CT  
Zoning Regulations Partial Lighting Requirements Section  
NTS

**LIGHTING PLAN**

**MARINO'S RESTAURANT**

Prepared For  
*Cheryl and Christian Marino*

Torrington Connecticut

**LAUREL ENGINEERING, LLC**  
Civil, Seismic, Structural Consultants  
48 Center Street - Winsted, Connecticut 06098

Phone (860) 379-6898      E-Mail laureleng@earthlink.net

Scale:	As Noted	Project No.:	20-105
Drawn By:	RC	File Name:	Lighting... .dwg
Revised Through:	09/23/20	Submitted:	09/24/20

3B

JUNCTION BOX/HANDHOLE (TYP. OF EIGHT)

License No. 20338











**SOIL EROSION AND SEDIMENT CONTROL PLAN NARRATIVE**  
PREPARED USING CURRENT CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL

**1. INTRODUCTION AND PERMIT COMPLIANCE**

Pursuant to Connecticut P.A. 83-388, this project requires a Soil Erosion and Sediment Control Plan and Narrative.

This narrative describes the minimum measures required to control soil erosion during and after construction of the site shown on this plan. The soil erosion and sediment control measures shown on this plan are designed in accordance with a document entitled "Connecticut Guidelines for Soil Erosion and Sediment Control" as most recently published by the Connecticut Council on Soil and Water Conservation. The contractor may be required to implement additional measures to prevent site erosion and sedimentation of downstream waterways.

The contractor is required to obtain copies of, and comply with the conditions of all permits for this project, including but not limited to:

- \* Municipal Inland Wetlands Permit
- \* Municipal Approval of the Erosion Control Plan

The contractor's activities and operations include all site work and work incidental to the project including, but not limited to haul roads, waste and disposal areas, staging areas, and field offices. If any of his activities require approvals above and beyond those already accounted for by the Owner's permits, the contractor shall apply for and obtain such permits prior to conducting those operations.

**2. PROJECT AND DESCRIPTION OF PROJECT**

The project plans show the construction of a new 7385 sq restaurant and the clearing for, formation of subgrade and subsequent construction of a parking areas associated with the restaurants use. The subject property is located at 12 Pinewoods Road, Torrington, CT.

**3. CONSTRUCTION SEQUENCING**

Construction sequencing may be as follows:

1. Prepare site for activity
2. Install construction entrance
3. Install erosion and sediment control measures (silt fencing is shown on plans - hay bales may be substituted)
4. Remove vegetation within the clearing limits
5. Remove existing layer of topsoil where excavation is required and stockpile upgradient of all erosion control measures within project clearing limits.
6. Excavate for and prepare driveway and parking area subgrade - keep construction entrance in-place
7. Excavate for and install storm sewer and appurtenances.
8. Building erection shall be performed simultaneously with site work.
9. Install light standards as determined by contractor and approved by the Town of Winchester.
10. Remove construction entrance - Install processed aggregate base throughout drive and parking areas and bituminous concrete binder course.
11. Install BCLC and bituminous concrete wearing surface. Install HC ramps.
12. Install landscape features, finish lighting and provide topsoil and turf establishment in all disturbed areas not being paved.
13. Upon strong establishment of turf and vegetative features remove erosion control measures.

The Engineer estimates the single phase construction activities to be completed within 12-36 weeks of commencement.

Erosion control measures shall remain in-place until turf has been established in all disturbed areas.

**4. RESPONSIBILITY**

**4.1 RESPONSIBILITIES OF OWNER**

The Owner is: Marinos LLC 12 Pinewoods Road Torrington CT 06790 - Telephone number (860) 485-3788.

**The Owner shall:**

- A. Provide the contractor / future owners with copies of land-use permits that owner has acquired.
- B. Inform all parties involved with the proposed site work of this plan's objectives and requirements.

**4.2 RESPONSIBILITIES OF CONTRACTOR**

The contractor is responsible for preventing erosion of the site and for protecting adjacent waterways from sedimentation.

**The contractor shall:**

- A. Install, monitor, and maintain all of the soil erosion and sediment control measures as shown on this plan.
- B. Comply with all permit requirements.
- C. Provide the Owner, Engineer, and the municipality with 24 hour phone numbers in the event of an emergency at the site.

**5. DESCRIPTION AND MAINTENANCE OF EROSION CONTROL MEASURES**

**5.1 TEMPORARY STABILIZATION MEASURES**

**Silt Fence / Straw Bales:**

Install silt fence as shown on the plans and details. Embed the silt fence into the ground and firmly anchor it as shown in the details. Remove sediment once levels have reached 1/4 of the effective fence-height or straw bales. Repair and/or replace silt fence immediately if damaged or deteriorated. See straw bale detail for proper installation.

**Stockpiling or Storage of Excavated Materials:**

There shall be minimal stockpiling of topsoil from leaching area. No other materials may be stockpiled at the site.

**5.2 PERMANENT STABILIZATION MEASURES**

Implement stabilization measure within three days of final grading.

**Loam, Seed and Mulch:**

Immediately following rough grading activities, bring all disturbed areas to final grade with four inches of loam.

Loam shall be free of large stones and roots and other deleterious materials such as wood, pieces of pavement, metals, trash, etc. and shall be of such quality as to readily promote germination of grass seed.

Prior to seeding, lime and fertilize according to soil test or, at a minimum, apply lime at a rate of 100 lbs./1000 sq. ft. and 10-10-10 fertilizer at a rate of 6 lbs./1000 sq. ft. Work lime and fertilizer into soil.

Unless specified otherwise by an expert, apply grass seed at the following rates:

**MIXTURE 1 LBS./1000 SF**

Kentucky Bluegrass	2.25
Creeping Red Fescue	2.25
Perennial Ryegrass	.50
	5.00

**MIXTURE 2 LBS./1000 SF**

Creeping Red Fescue	2.25
Redtop	.25
Tall Fescue or	2.25
Smooth Bromegrass	4.75

Immediately after seeding operations, cover the seedbed with hay or straw mulch at a rate of 100 lbs./1000 sq. ft. Mulch must be free of weeds and coarse matter. Spread mulch by hand or by mulch blower. Mulch anchoring is required by tractor drawn anchoring device along contour, or by tracking with a bulldozer (cleats parallel to contour) on slopes flatter than 3H:1V. If not specifically required herein, anchored jute mesh or equal is preferred by the engineer but not required on slopes steeper than 3H:1V.

The contractor shall irrigate all seeded areas until a stand of grass, acceptable to the Owner, is established.

The contractor shall be responsible for all seeded areas. If topsoil, seed, and/or mulch is washed away by rainfall, the contractor shall restore the area.

Sunny areas	1 1
Shady areas	5 5

**5.3 OTHER CONTROLS**

**Construction Entrance:** Place clean washed stone (CONNDOT No.3 stone) at the site entrance(s) to the length, width and depth indicated on the plans and details to help remove mud and/or clods of soil from construction vehicles exiting from the site. Add stone as necessary to maintain adequate serviceability.

**Stone Swale:**

Stone swales shall be installed as detailed on the project plans.

**Jute Mesh:**

Where required on 2:1 slopes or steeper a jute mesh matting shall be provided and installed by the contractor upon request of the Construction Engineer or Town of Winchester.

**Sediment Protection at Catch Basins:**

All catch basins shall be protected from sediment during construction with the use of sand and/or gravel filled bags. The bags shall be placed around the catch basin to minimize the migration of sediment into the storm sewer system during construction, the bags shall be placed to a depth of 18" high and sediment should be periodically removed from the sediment trap areas.

**6. GENERAL CONDITIONS**

6.1 If erosion control measures are damaged by construction vehicles, acts of vandalism, or severe weather conditions, the contractor shall immediately remove sediment in the vicinity of the erosion control measures and repair these measures to a functional condition.

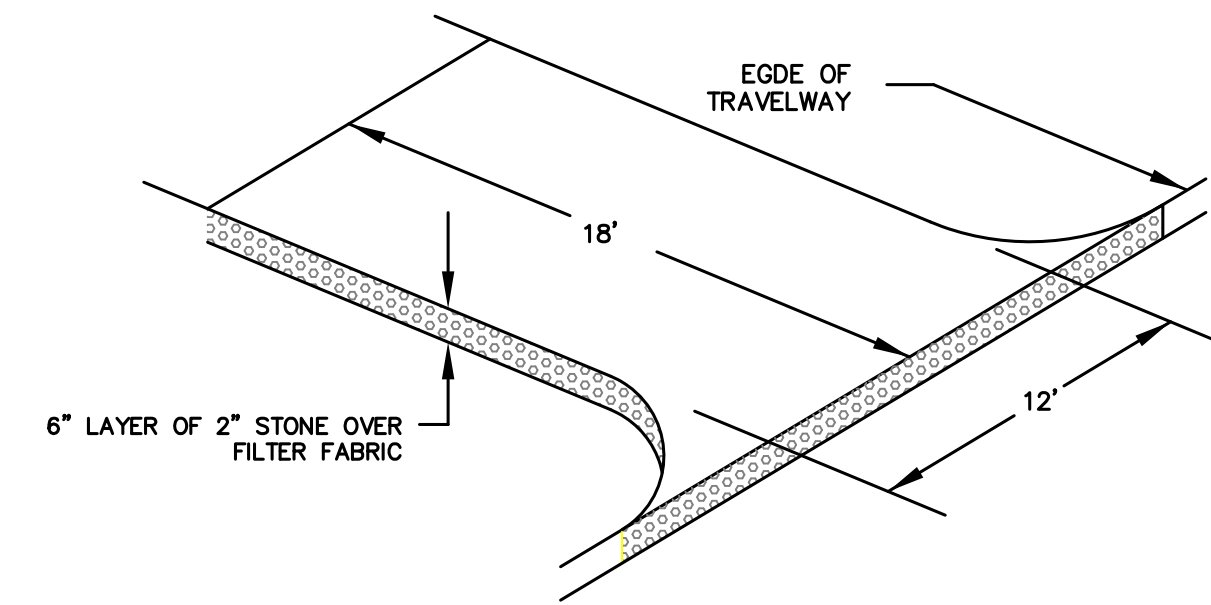
6.2 If, during or after construction, it becomes apparent that existing erosion control measures are incapable of controlling erosion, the owner, the engineer, or the municipality may require additional control measures including, but not limited to; additional hay bales, silt fence, sediment basins, or mechanically anchored mulch.

6.3 Refueling of equipment or machinery within 25 feet of any wetland or watercourse is prohibited.

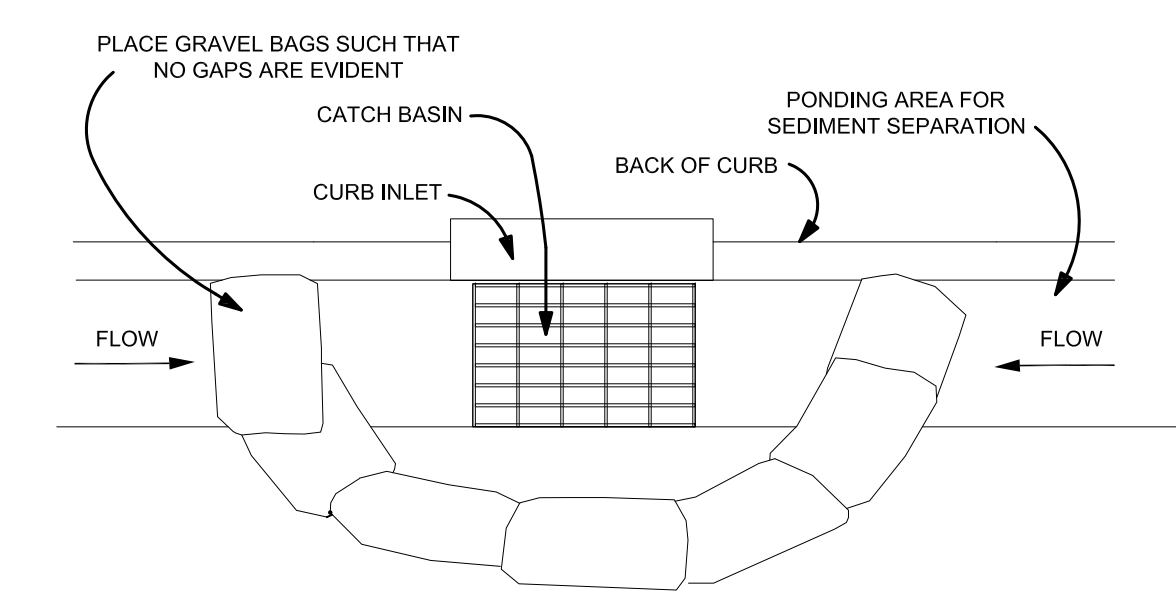
6.4 No materials resulting from construction activities shall be placed in or allowed to contribute to the degradation of an adjacent wetland or watercourse. Disposal of any material shall be in accordance with Connecticut General Statutes, including, but not limited to, Sections 22a-207 through 22a-209.

6.5 Stabilize all temporary fill to prevent erosion and to prevent sediment or other particulate matter from reentering a wetland or watercourse. Restore and revegetate all areas affected by temporary fills to their original contours or as directed by the Owner. Confine the extent of temporary fill or excavation to that area necessary to perform the work, as approved by the Owner.

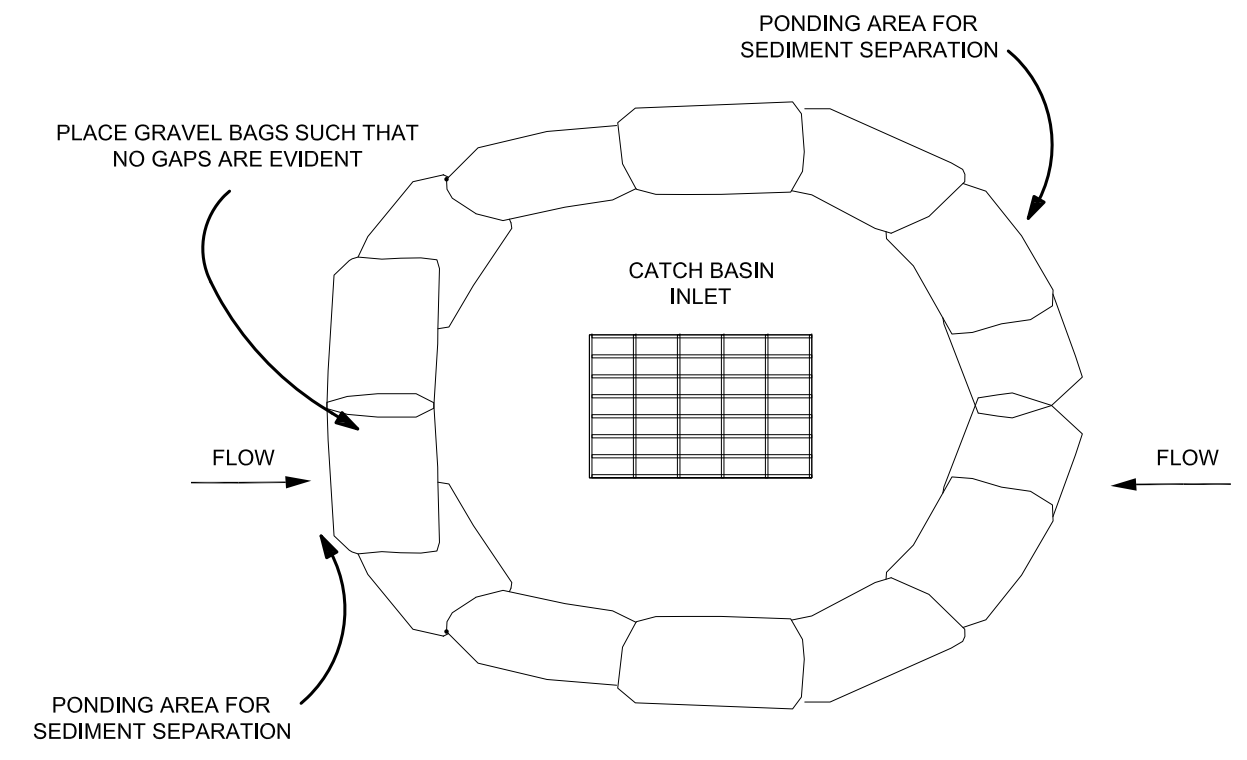
6.6 Dumping of oil, chemicals or other deleterious materials on the ground is forbidden. The contractor shall provide a means of catching, retaining, and properly disposing of drained oil, removed oil filters, or other deleterious material. All spills of such materials shall be reported immediately by the Contractor to the DEP.



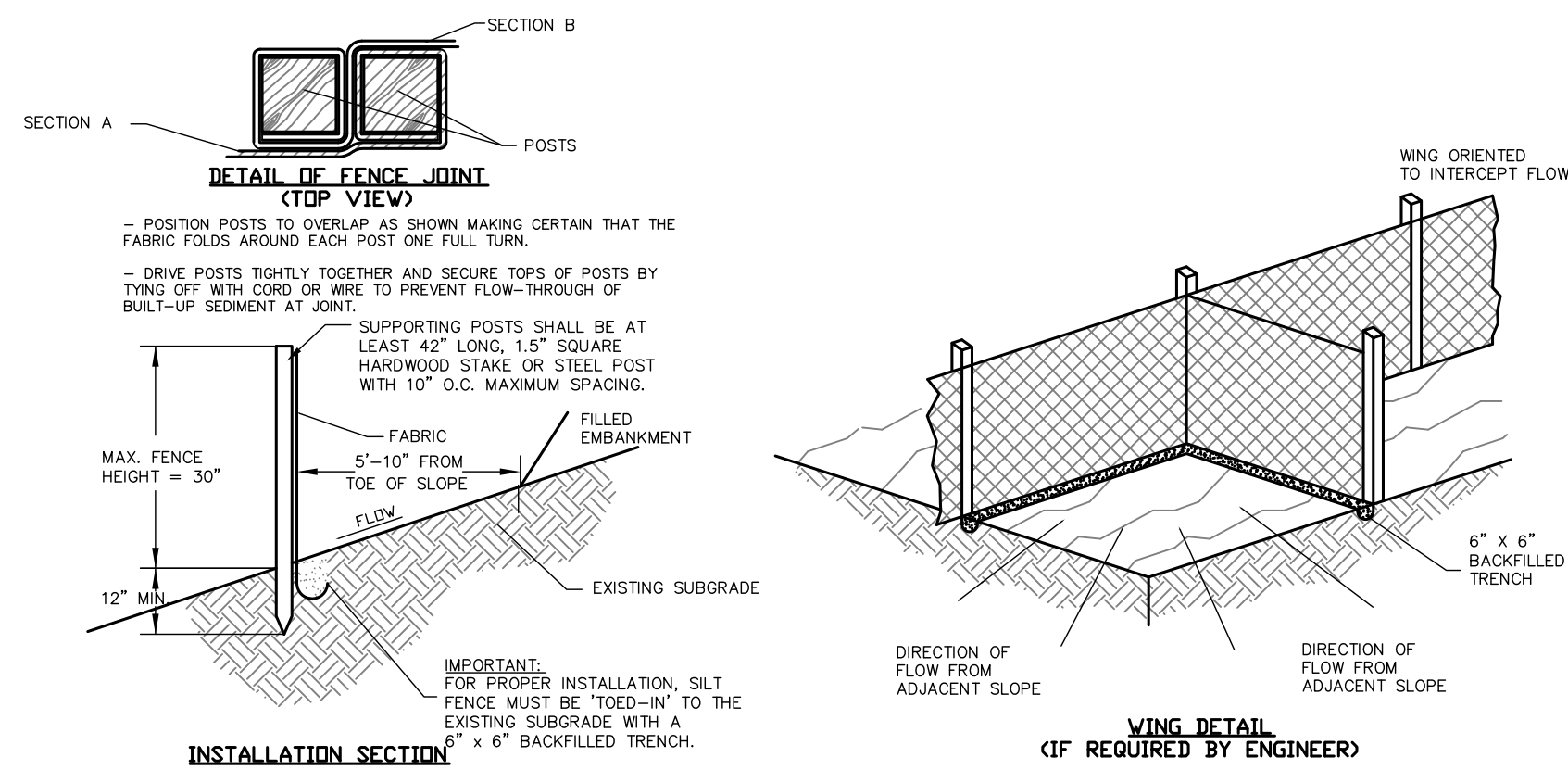
**CONSTRUCTION ENTRANCE NTS**



**PLAN VIEW**

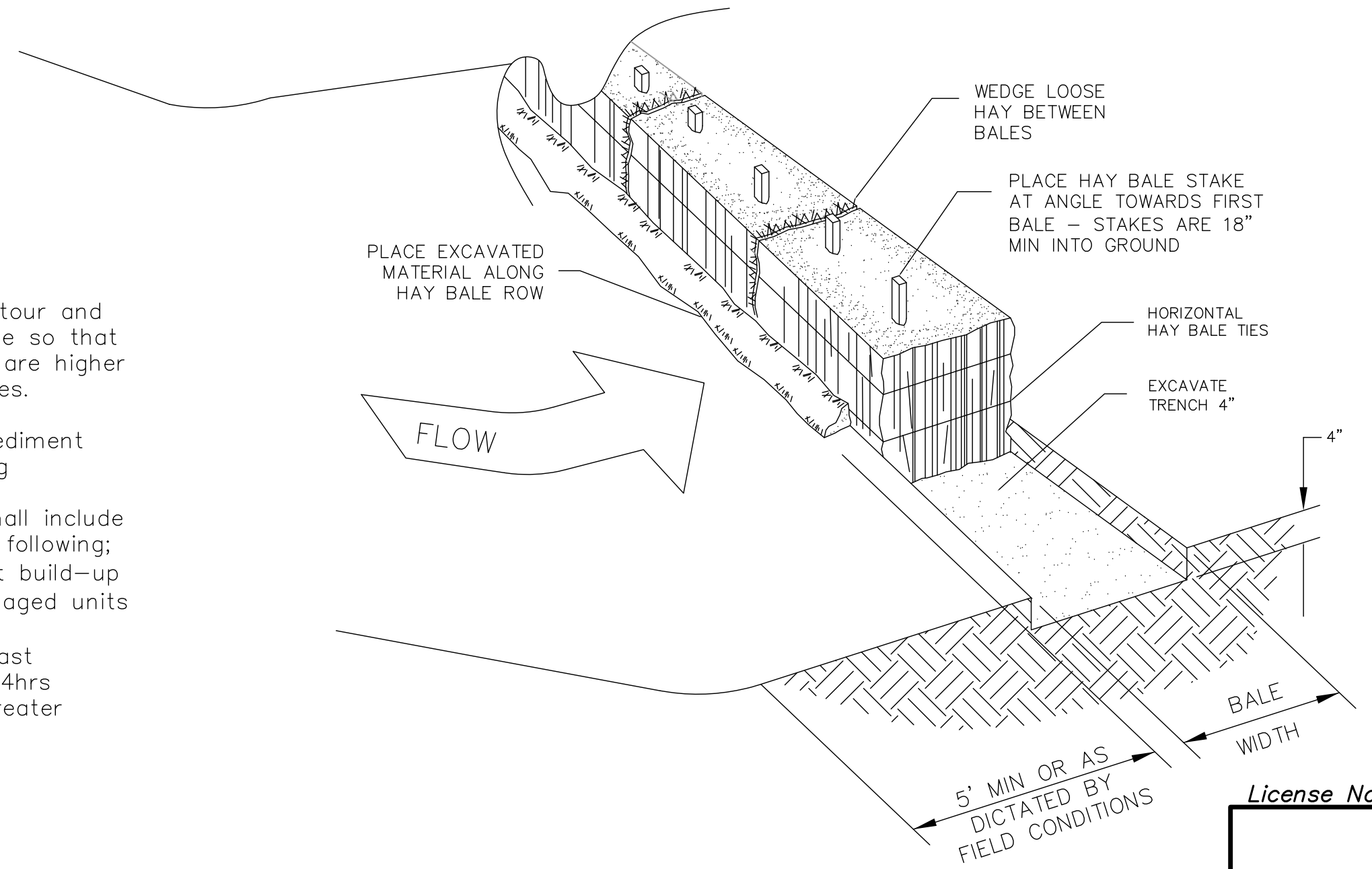


**PLAN VIEW**



**SEDIMENTATION AND EROSION CONTROL (FILTER FABRIC SYSTEM) NTS**

**PROTECTION AT CATCH BASIN NTS**



**SEDIMENTATION AND EROSION CONTROL (HAY-BALE SYSTEM) NTS**

- NOTES:**
1. Place hay bales on contour and wing last hay bales upslope so that the top of last hay bales are higher than the line of straw bales.
  2. Stake all hay bales.
  3. Maintain and remove sediment deposits as required during construction.
  4. Regular maintenance shall include but not be limited to the following;
    - a.) Removal of sediment build-up
    - b.) Replacement of damaged units
    - c.) minimum inspection requirements include at least once per week or within 24hrs of a precipitation event greater than 0.5"

Approved by the City of Torrington Planning and Zoning Commission  
Sheets 1 through 5 Inclusive

Final Approval: \_\_\_\_\_  
Chairperson

Date: \_\_\_\_\_

Expiration Date: \_\_\_\_\_

<b>SOIL EROSION / SEDIMENTATION CONTROL NARRATIVE AND DETAILS</b>			
<b>MARINO'S RESTAURANT</b>			
Prepared For <i>Cheryl and Christian Marino</i>			
Torrington		Connecticut	
<b>LAUREL ENGINEERING, LLC</b>			
Civil, Seismic, Structural Consultants 49 Center Street - Winsted, Connecticut 06098			
Phone (860) 379-6898 E-Mail laureleng@earthlink.net			
Scale:	As Noted	Project No.:	20-105
Drawn By:	RC	File Name:	SESC-Plan.dwg
Revised Through:	09/23/20	Submitted:	09/24/20
			<b>5</b>