



445 Hamilton Avenue, 14th Floor
White Plains, New York 10601
T 914 761 1300
F 914 761 5372
cuddyfeder.com

Kristen Motel
kmotel@cuddyfeder.com

January 12, 2022

VIA ELECTRONIC MAIL AND FEDERAL EXPRESS

Chairman Greg Mele
and Members of the Planning and Zoning Commission
City of Torrington
140 Main Street, Room 324
Torrington, Connecticut 06790

Re: Volta Electric Vehicle Charging/Display Kiosks
Special Exception Permit and Site Plan Applications
Premises: Stop & Shop, 931 Torrington Street, Torrington, CT 06790

Dear Chairman Mele and Members of the Planning and Zoning Commission:

This letter and enclosed materials are respectfully submitted on behalf of Volta Charging, LLC (“Volta”), in support of its special exception and site plan applications for the proposed installation of electric vehicle charging kiosks at the Stop & Shop located at 931 Torrington Street.

Volta operates electric vehicle charging networks throughout the United States and provides free charging in convenient locations. By generating revenue through sponsored content, Volta creates value and passes that on to EV owners who can charge while they shop. This encourages consumer adoption of electric vehicles with net reductions in carbon emissions.

Volta is partnering with Stop & Shops across the Northeast to establish on-site electric vehicle charging kiosks that enhance the shift from combustion-powered miles to electric miles. The charging kiosks include a digital display feature for various sponsored content, which enables Volta to provide the vehicle charge at no cost to the driver while it is parked on-site.

The Parcel and Volta’s Proposed Installation

The Parcel is currently classified within the Local Business (“LB”) Zoning District and is situated to the west of Torrington Street (Route 183), just south of East Main Street (Route 202). One large commercial building with a Stop & Shop is located on the property. There are no other retail tenants or structures.

Volta is proposing to install two (2) EV Charging/Display Kiosks on existing landscaped islands in the Stop & Shop parking lot within the first row of parking spaces, closest to the building



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entrance. The kiosks are approximately seven and a half (7.5) feet tall and three (3) feet wide and include digital displays that are four (4) feet tall and 2¼ (2.25) feet wide.

Compliance with Applicable Standards

At the November 17, 2021 public hearing, the Planning and Zoning Commission (“PZC”) adopted zoning text amendments to permit EV Charging/Display Kiosks in the LB Zoning District as a Special Exception Use, subject to specific bulk, design and visibility requirements.

As demonstrated on the enclosed Site Drawings, prepared by Kimley-Horn and Associates, Inc., dated March 3, 2021 and last revised December 6, 2021 (“Site Drawings”), the proposed EV Charging/Display Kiosks will comply with the following criteria enumerated Section 5.15.2 of the Zoning Regulations:

1. Two EV Charging/Display Kiosks are proposed. Two standard parking spaces will be converted into two electric vehicle spaces.
2. The proposed EV Charging/Display Kiosks will not exceed 21.5 square feet in size and 7.5 feet in height.
3. The proposed EV Charging/Display Kiosks display screens will not exceed 9 square feet.
4. The proposed EV Charging/Display Kiosks will be equipped with an auto-dimming feature.
5. The proposed EV Charging/Display Kiosks will have a content refresh rate of no more than every 8 seconds.
6. The two proposed EV Charging/Display Kiosks will be located 59 feet and 74 feet away from the front façade of the building.
7. The proposed EV Charging/Display Kiosks will be located within the existing parking lot of the Stop & Shop, which is the only retail store on the property and has a building footprint of approximately 57,000 square feet.

As required by Section 8.2.B of the Zoning Regulations, the Site Drawings demonstrate that the design and location of the EV Charging/Display Kiosks will be in harmony with the commercial building and not have a detrimental effect on the surrounding area. The location of the kiosks in the first row of parking spaces closest to the Stop & Shop entrance avoids off-site visibility and will have no impact on vehicular traffic.

Additionally, the EV Charging/Display Kiosks will promote the City’s Sustainability Objectives identified in the 2019 Plan of Conservation and Development (“2019 POCD”). The kiosks will support clean energy and transportation infrastructure by enabling residents and patrons of City businesses to reduce their dependence on fossil fuels thereby reducing emissions.¹ It is respectfully submitted that the proposed EV Charging/Display Kiosks are consistent with the public health, safety, morals and general welfare of the community.

¹ See 2019 POCD 12-1, 13-1, 13-2.



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For the reasons set forth above, and as will be further discussed at the public hearing on this matter, the proposed EV Charging/Display Kiosks comply with the applicable bulk, design and visibility requirements and the Applicant respectfully requests approval of the special exception and site plan.

Materials Enclosed

In support of the proposed amendments, enclosed please find the following materials:

- Exhibit A:** Special Exception Application;
- Exhibit B:** Site Plan Application;
- Exhibit C:** November 17, 2021 Adopted Zoning Amendments;² and
- Exhibit D:** Site Plans prepared by Kimley-Horn, P.C. dated March 3, 2021, last revised December 6, 2021.

Also enclosed are three (3) checks made payable to the City of Torrington in the amounts of \$135.00; \$210.00 and \$175.00 representing the site plan application fee, the special exception application fee and the refundable deposit for the public notice sign, respectively.

We respectfully request that this matter be placed on the Planning and Zoning Commission's January 19th meeting Agenda to schedule a public hearing. Should the Commission or City Staff have any questions regarding the enclosed, please do not hesitate to contact us. Thank you in advance for your consideration in this regard.

Sincerely,

A handwritten signature in black ink, appearing to read 'Kristen Motel', is written over a light blue horizontal line.

Kristen Motel
Enclosures

Cc: Volta Charging, LLC
Kimley-Horn, P.C.
Christopher B. Fisher, Esq.
Allison Fausner, Esq.

² Please note that the November 17th approved zoning amendments permit EV Charging/Display Kiosks as a special exception use, instead of an as-of-right use, which was originally proposed.

EXHIBIT A

Application No. _____

**CITY OF TORRINGTON
PLANNING AND ZONING COMMISSION
SPECIAL EXCEPTION APPLICATION**

Fee: \$210.00 (includes \$60.00 state tax)

Date of Application: 1/11/22 Hearing: _____ Decision: _____

Location of Property:

931 Torrington Street, Torrington, CT 06790

Is this property within 500 feet of another municipality? Yes No

Name of Municipality: _____

Assessor's Map: 144 Block: 002 Lot: 010 Zone: LB

Area: 11.41 acres

Applicant: Samuel Lee, on behalf of Volta Charging, LLC

Applicant's Address 155 DeHaro Street, San Francisco, CA 94103

Applicant's Signature: Samuel Lee

Phone: 914-903-6066 Fax: _____ email: samuel.lee@voltacharging.com

Owner: JFM East Main, LLC

Owner's Address: ~~P.O. Box 8500, Carlisle, PA 17014~~ 1688 E Main Street, Torrington, CT 06790

Phone: 860-307-4222 Fax: _____

Owner's Signature:** John J. Daniel MAMBERT

If the owner and the applicant are different entities, a written authorization letter from the owner must be attached to this application.

Describe the Proposed Project:

Volta is proposing to install two EV Charging/Display Kiosks in the parking lot of the Torrington Street Stop & Shop. Two standard parking spaces will be converted into two electric vehicle spaces and the charging kiosks will be located in existing landscaped islands. The kiosks are approximately seven and a half (7.5) feet tall and three (3) feet wide and include digital displays that are four (4) feet tall and 2¼ (2.25) feet wide. Section(s) of the Zoning Regulations giving the Planning and Zoning Commission

authority to grant the Special Exception(s):

Section 5.15.5B

Describe the Special Exception(s) sought:

Special Use Permit for EV Charging/Display Kiosks. See Project Narrative Attached.

Is there a conservation or preservation restriction on the property?

Yes No N/A*

*Proposed charging stations will be in an existing paved parking lot.

Conservation and/or Preservation Restrictions:

If the property subject to site plan approval has a conservation or preservation restriction on the land, the holder of the restriction is required to be noticed of the application. The applicant must notify the holder of the land restriction regarding the application by certified mail, return receipt requested, no later than 60 days prior to the filing of the application. In lieu of such notice the applicant may submit a letter from the holder of such restriction (or their agent) verifying that the application is in compliance with the terms of the restriction.

Are there wetlands on the property or construction or drainage within a regulated wetlands area? (75 feet from wetlands and 100 feet from watercourse or water body)

Yes No N/A*

*Proposed charging stations will be in an existing paved parking lot.

If yes, has an application been submitted to the Inland Wetlands Commission:

Yes No N/A*

Explain reasons for granting this special exception. List any proposed safeguards and conditions: See attached Project Narrative.

Is a site plan application being filed for this project at the same time as this Special Exception application? Yes No

Important Information for the Applicant

1. Application: The applicant must submit eight copies of this application.
2. Survey: The application must submit eight copies of an up-to-date Class A-2 survey of the property and improvements prepared by a land surveyor registered in the State of Connecticut.
3. Site Plan: The applicant must submit eight copies of a site plan. All plans shall be prepared, signed and sealed by a professional engineer, landscape architect, land surveyor or architect - whichever is appropriate. The professional engineer, landscape architect, land surveyor or architect must be

registered in the State of Connecticut. All plans shall be based on an A-2 survey. The scale of the plans shall be a minimum of inch equals forty feet.

The plans shall include the following information:

- A. Date, north arrow, and scale;
- B. Existing and proposed contours at two foot intervals;
- C. Existing major landmarks such as inland wetlands, streams, floodplains, rock outcropping, tree lines, etc;
- D. Construction limit line identifying all those areas to remain undisturbed and in their natural state;
- E. The location, size and species of significant trees and all specimen trees as required in Section 5.15;
- F. Proposed parking and loading areas including stalls, driveways, and aisles; dimensions, curbing, landscaping, turning radii and identification of proposed surface material shall be shown;
- G. The sight distance for proposed driveways;
- H. Proposed lighting plan including the location, size, height, and intensity of all lighting fixtures;
- I. Proposed landscaping plan showing the Latin and common name of the species used, quantity of each plant species and the size and height of the plants at the time of planting; the landscaping plan shall be signed by a landscape gardener or landscape architect;
- J. The location and design of all existing and proposed sanitary sewer, storm drainage, water, electrical, natural gas and other utilities; all engineering improvements shall be accompanied by appropriate data in accordance with good engineering practice;
- K. Proposed location and screening of all trash receptacles;
- L. The proposed size, colors, location and lighting of all signs;
- M. Architectural plans as described in Section 8.5.10;
- N. An informational table showing:
 - a. existing use of the property;
 - b. proposed use of the property;
 - c. zone in which the property is located;
 - d. size of the property in square feet or acres;
 - e. gross floor area of existing structures;
 - f. gross floor area of proposed structures;
 - g. total impervious surface;
 - h. building height in feet and number of stories;
 - i. number of parking spaces required;
 - j. number of parking spaces provided;
 - k. number of loading spaces required;
 - l. number of loading spaces provided;
- O. A vicinity map at a scale sufficient to show:
 - a. parking areas and driveways on all properties within 100 feet of the site;
 - b. all streets within 100 feet of the site; and
 - c. all zone boundaries within 100 feet of the site;
- P. Any information needed by the Commission to determine compliance of the plan with the zoning regulations.

4. Public Notice Sign:

The applicant shall obtain from the Planning and Zoning Department a sign notifying the public of the hearing. A \$175.00 refundable deposit shall be made by the applicant to cover the cost of the sign. The sign shall conform to the following requirements:

- a. The applicant shall post the sign in a conspicuous location on the property affected by the application;
- b. The sign shall give the information on the reason for the hearing (e.g. special exception) and the time, date and location of the public hearing;
- c. The sign shall be clearly legible from a street;
- d. The sign shall be posted at least ten consecutive days before the public hearing; and
- e. The sign shall not be removed until after the close of the public hearing.

Failure to post and maintain this sign shall be grounds for the denial of the application.

5. Letter to Surrounding Property Owners

At least 10 days prior to the public hearing, the applicant shall send a notice of the public hearing to persons who own land that is adjacent to the land that is subject of the hearing. The proof of mailing shall be evidenced by a certificate of mailing and the person who owns land shall be the owner indicated on the property tax map or on the last completed grand list as of the date such notice is mailed. This information is available in the Torrington Tax Assessor's Office. The notice shall indicate the reason for the hearing, hearing date, time and location of the hearing. Evidence of mailing shall be presented to the Planning and Zoning Commission at or before the public hearing.

6. Questions regarding this application can be directed to the Planning and Zoning Department at 489-2221 or 489-2220.

(Office Use Only)

Is this property within 500 feet of another municipality? Yes No

If yes, the town(s) is: _____

Date town(s) were notified of public hearing: N/A

Previous ZBA and P&Z applications at this location:

 9/22/21 Zoning Amendment Application to Planning and Zoning

LETTER OF AUTHORIZATION

This Letter of Authorization, dated this 6th day of January, 2022, provides written authorization for Volta Charging, LLC and its affiliates, its agents or representatives, to apply for and execute any necessary City of Torrington petitions, permits or any other approvals, including, but not limited to, the filing of applications for site plan and special exception approvals, all of which are necessary for purposes of installing, operating and maintaining electric vehicle charging/display kiosks on a portion of the real property with an address of 931 Torrington Street, Torrington, Connecticut 06790 (Map/Block/Lot: 144/002/010) and owned by JFM East Main LLC ("Owner").

A copy of this letter shall be regarded as having the same effect as the original.

OWNER: JFM East Main

LLC

By: Allen J. Danek

NAME: Allen S. Danek

TITLE: MANAGER

EXHIBIT B

CITY OF TORRINGTON
PLANNING & ZONING COMMISSION
SITE PLAN APPLICATION

Application # _____

Date: 1/11/22

Property Location/Address: 931 Torrington Street, Torrington, CT 06790

Assessor's Map: 144 Block 002 Lot 010 Zoning District: LB Zone

Project: Volta is proposing to install 2 EV Charging/Display Kiosks in the parking lot of the Torrington Street Stop & Shop. 2 Standard parking spaces will be converted into 2 electric vehicle spaces and the charging kiosks will be located in existing landscaped islands.

The kiosks are approximately 7.5 feet tall and 3 feet wide and include digital displays that are 4 feet tall and 2.25 feet wide. Is a Special Exception application being filed for this property at the same time as this Site Plan application?

Yes No

Is this property within 500 feet of another municipality? Yes No

If yes, give name of municipality: N/A

Are there wetlands on the property or construction or drainage within a regulated wetlands area? N/A* Yes No

(75 feet from wetlands and 100 feet from watercourse or water body)
If yes, has an application been submitted to the Inland Wetlands Commission? N/A* Yes No

Is there a conservation or preservation restriction on the property? N/A* Yes No

*Proposed charging stations will be in an existing paved parking lot.

I, the undersigned applicant, understand that this application is based on the information submitted by me and that falsification by misrepresentation, omission, or failure to comply with the Zoning Regulations shall constitute a violation of the Zoning Regulations.

Applicant: Samuel Lee on behalf of Volta Charging, LLC

Address: 155 DeHaro Street, San Francisco, CA 94103

Signature: Samuel Lee

Phone # 914-903-6066 FAX # _____ E-mail samuel.lee@voltacharging.com

I, the undersigned owner, authorize the City's agents to enter my property during and after construction for the purpose of inspection with regards to this application.

Owner: JFM East Main, LLC

Address: 1688 E Main Street, Torrington, CT 06790

Phone # 860-307-4222 FAX # _____ E-mail allen5266@aol.com

Signature: Allen J. Dawick MANAGER

Site Plans: Eight (8) copies of the site plan must be submitted at time of application.

Fees: For site plans with no new construction, the application fee is \$135.00. For new construction with gross floor areas 5,000 square feet or less, the application fee is \$135.00. For new construction with a gross floor area greater than 5,000 square feet, the application fee is \$135.00 plus \$.01 per square foot of gross floor area over 5,000 square feet. (All base fees include \$60.00 state tax)

Fee of \$ _____ paid on _____

CITY OF TORRINGTON
PLANNING & ZONING COMMISSION
SITE PLAN APPLICATION
EXPLANATION OF PROCEDURES

General:

"Site plan approval from the Planning and Zoning Commission shall be obtained prior to obtaining a Zoning Permit for the construction, expansion, outside alteration or change of use of any building or structure. Site plan approval shall also be obtained prior to the erection of any sign, the alteration or expansion of a parking area, or any change of use of a lot. Only one, two, or three family residences shall be exempt from site plan approval." *Torrington Zoning Regulations, Section 8.4.1.*

Information Required:

A site plan application must be filed and the application fee must be paid. Additional information needed for a site plan application is described in *Sections 8.4.2 and 8.4.3 of the Torrington Zoning Regulations*. Other information on setbacks, impervious surface, landscaping, parking, architectural review, and tree preservation is also found in the regulations. It is strongly recommended that an applicant purchase a copy of the Zoning Regulations.

Along with the site plan application the applicant must also submit a form entitled "*Environmental Compliance Certification*".

Failure of the applicant to submit the required information is grounds for denial of the application.

Approval Process:

Applications are submitted to the Planning and Zoning Department. The Department will place the application on the Planning and Zoning Commission agenda and distribute the application to the relevant City departments. The Department will inform the applicant of meeting times and locations.

From the day the Commission accepts the application at its meeting, the Planning and Zoning Commission has 65 days in which to make a decision on a site plan application. The applicant may consent to one or more extensions of the 65 day period provided the total period of such extensions does not exceed 130 days. No public hearing is generally held on a site plan application.

The applicant must meet with the Architectural Review Committee. This Committee advises the Commission and the applicant on the design of the buildings and the site layout.

Special Exception:

The Planning and Zoning Commission decides on all special exceptions. If a project requires a special exception as well as site plan approval, the applicant may apply for both approvals at the same time. Site plan approval, however, cannot be given prior to the approval of a special exception.

Inland Wetlands:

An application to the Inland Wetlands Commission must be filed prior to, or at the same time as, site plan or special exception applications. No action can be taken until after the Inland Wetlands Commission's decision.

Conservation and/or Preservation Restrictions:

If the property subject to site plan approval has a conservation or preservation restriction on the land, the holder of the restriction is required to be noticed of the application. The applicant must notify the holder of the land restriction regarding the application by certified mail, return receipt requested, no later than 60 days prior to the filing of the application. In lieu of such notice the applicant may submit a letter from the holder of such restriction (or their agent) verifying that the application is in compliance with the terms of the restriction.

**CITY OF TORRINGTON
PLANNING & ZONING COMMISSION
SITE PLAN APPLICATION
ENVIRONMENTAL COMPLIANCE CERTIFICATION**

Date: 1/11/22

Property Location: 931 Tarringford Street, Torrington, CT 06790

Assessor's Map: 144 Block 002 Map 010

Project: Volta Electric Vehicle Charge/Display Kiosks

Company: Volta Charging, LLC

Applicant: Samuel Lee, on behalf of Volta Charging, LLC

Applicant's Address: 155 DeHaro Street, San Francisco, CA 94103

Air Quality:

Will this facility produce emissions into the air? Yes No

If yes, will this require registration or a permit from any State or Federal agency? Yes No

If yes, list the agency's name and the registration or permit numbers:

N/A.

Attach a description of the processes that will produce the emissions. Include an estimate of the amounts of industrial materials that will be used on an hourly basis and any pollution control equipment that will be installed. Attach copies of all air quality permits or applications.

Hazardous Wastes

Will this facility generate, transport, treat, store or dispose of hazardous wastes? Check all that apply: No.
 Generate Transport Store Treat Dispose

If the facility is a generator, it will do the following. Check all that apply: **N/A**

- Establish spill control measures
- Compile a contingency plan
- Store the wastes in a manner that protects the environment
- Conduct personnel training

Attach a list of the hazardous wastes that will be generated by the facility, the estimated amounts generated per month and the generating processes. Attach EPA Identification Number of Application. Note that a violation of any State or Federal regulation regarding hazardous materials shall also be a violation of the City Zoning Regulations.

In-Ground Tanks

Will this facility use an in-ground tank for the storage of petroleum products, derivatives, or chemicals?
 Yes No

If yes, attach a copy of the Connecticut Department of Environmental Protection In-Ground Tank Registration form.

Water Quality

Other than sanitary wastes, will this facility discharge process wastewaters or non-contact cooling water?
 Yes No

If yes, will the discharges be to the environment or to the local publicly owned treatment plant?

Environmental Treatment Plant

Attach a description of the processes that will generate the discharges, the materials used in the processes, the characteristics of the effluent, and any treatment conducted prior to discharge. Attach a copy of a NPDES Permit or Application.

This is to certify that this facility has complied, or will comply with the environmental regulations of the Agencies listed in Section 7.0 of the City's Zoning Regulations and will take the steps indicated above to maintain compliance with those regulations. Upon receipt of any permits or registration numbers, copies will be forwarded to the City of Torrington Planning and Zoning Department. Copies of any monitoring reports required by the State Department of Environmental Protection, the State Department of Health or the U.S. Environmental Protection Agency shall also be sent to the Torrington Planning and Zoning Department.

Applicant's Signature: Samuel Lee

Printed Name of Applicant: Samuel Lee

Applicant's Title: Engineering Project Manager

Date: 1/11/22

EXHIBIT C

City Of Torrington



LAND USE OFFICE
140 Main Street • Room 324
Torrington, CT 06790

Tel: (860) 489-2221
Fax: (860) 496-5928
www.torringtonct.org

November 29, 2021

**CERTIFIED MAIL
RETURN RECEIPT REQUESTED**

Kristen Motel, Esq.
Cuddy & Feder LLP
445 Hamilton Avenue, 14th floor
White Plains, NY 10601

Proposed Change of Zoning Regulations
Applicant: Volta Charging, LLC; c/o Samuel Lee
Proposal: Proposed Amendment to Sections 5.15.2; 5.15.5B and 5.15.6B

Dear Ms. Motel:

This is to confirm that at its November 17, 2021 meeting, the Planning and Zoning Commission approved the above referenced proposal. The effective date of the amendment is November 27, 2021.

Please contact me if you have any questions.

Sincerely,

Martin J. Connor, AICP
City Planner

cc: Jeremy Leifert
Carol Anderson
Samuel Lee, Volta Charging

Proposed Zoning Text Amendment

Section 5.15.2 of the Zoning Regulations is amended to add the following definition:

“EV Charging/Display Kiosk – A combined electric vehicle charging kiosk with internally illuminated LED displays. EV charging/display kiosks must meet the following criteria:

1. There shall be a maximum of two EV Charging/Display Kiosks per business or business location.
2. EV Charging/Display Kiosks shall not exceed 21.5 square feet in size and 7.5 feet in height.
3. EV Charging/ Display Kiosks display screen shall not exceed 9 square feet.
4. EV Charging/Display Kiosks shall be equipped with an auto-dimming feature.
5. EV Charging/Display Kiosks shall limit content refresh rates to no more than every 8 seconds.
6. EV Charging/Display Kiosks shall be located within 100 feet of the front façade of the business building on the site.
7. EV Charging/Display Kiosks shall be located within a parking lot serving only one retail store with a building footprint of no less than 57,000 square feet.
8. Any EV Charging/Display Kiosks not meeting the requirements of subsections 1 through 7 of this subsection shall be deemed a prohibited Off-Premise Sign pursuant to Section 5.15.2 of these Zoning Regulations.

Section 5.15.2 of the Zoning Regulations is amended as follows (revisions indicated by underline):

Off-Premise Sign – A sign which directs attention to a business, commodity, service or activity conducted, sold, offered or held at a location other than the lot on which the sign is located. A ‘billboard’ is an example of an off-premise sign. An EV Charging/Display Kiosk does not constitute an Off-Premise Sign.

Section 5.15.5.B and Table 1 of the Zoning Regulations is amended to add the following:

- A row for “EV Charging/Display Kiosk” permitting EV Charging/Display Kiosks as a zoning permit use (“S”) in the Local Business (“LB”) Zoning District (see below).

Table 1 – Signs by Type in All Zoning Districts

Sign Type	DD	LB	I	IP	CIR	Residential
Banner	S	S	S	S	S	N
Billboard	N	N	N	N	N	N
Canopy	S	S	S	S	S	N
Construction	S	S	S	S	S	S
<u>EV Charging/Display Kiosks</u>	<u>N</u>	<u>S</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>
Farm Directional	P	P	P	P	P	P
Flag	P	P	P	P	P	P
Free-Standing	S	S	S	S	S	S
Home Occupation	S	S	S	N	N	S

Incidental	P	P	P	P	P	N
Lamp Post Banner	P	P	N	N	N	N
Marquee	S	S	N	N	S	N
Off-Premise	N	N	N	N	N	N
Pennant	N	N	N	N	N	N
Portable Sign	S	S	N	N	S	N
Projecting Sign	S	S	N	N	N	N
Rear Entrance Sign	S	S	S	N	S	N
Residential	P	P	P	N	N	P
Residential Development Sign	N	N	N	N	N	S
Roof Sign	S	S	S	S	S	N
Temporary Sign	S	S	S	N	N	S
Wall Sign	S	S	S	N	N	S
Window Sign	P	P	P	P	P	N

- S = allowed with Zoning Permit
- P = allowed by right, no Zoning Permit required
- E = allowed by Special Exception approval
- N = not allowed

Section 5.15.6.B of the Zoning Regulations is amended as follows (revisions indicated by underline):

5.15.6 Sign Illumination B. No sign may contain or be illuminated by flashing or intermittent lights or lights of changing degrees of intensity except for signs that indicate time, date and temperature or gasoline sales prices or EV Charging/ Display Kiosks. With the exception of EV Charging/Display Kiosks, LED or electronic changeable signs are not permitted.

EXHIBIT D

VOLTA

STOP & SHOP #2604 TORRINGTON

931 TORRINGFORD STREET
TORRINGTON, CT 06790
CITY OF TORRINGTON
MBL: 144-002-010

VOLTA

155 DE HARO STREET
SAN FRANCISCO, CA 94103

Kimley»Horn

1 N LEXINGTON AVE, SUITE 505
WHITE PLAINS, NY 10601
Main: 914.368.9200 | www.kimley-horn.com
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ITEM	TASK	YES	NO	N/A
1	CONTACT 811 UTILITY PRIOR TO EXCAVATION WORK.			
2	NOTIFY VOLTA & KIMLEY-HORN OF ANY DISCREPANCIES W/ PLANS OR POTENTIAL CONFLICTS.			
3	VERIFY ALL FIELD CONDITIONS PRIOR TO START OF CONSTRUCTION IN ACCORDANCE WITH THESE PLANS.			
4	INSTALL WORK AREA PROTECTION MEASURES.			
5	FIELD LOCATE EXISTING UTILITIES AND CROSSINGS & VERIFY NO CONFLICTS W/PROPOSED INFRASTRUCTURE.			
6	FIELD VERIFY ALL STALL DIMENSIONS AND EQUIPMENT LOCATIONS.			
7	CONFIRM ALL ADA AND LOCAL REQUIREMENTS ARE MET.			
8	ESTABLISH TEMPORARY CONSTRUCTION ACCESS(ES).			
9	IMPLEMENT AND MAINTAIN EPSC CONTROL MEASURES PER LOCAL REQUIREMENTS.			
10	LOCATE VERTICAL AND HORIZONTAL UTILITIES PRIOR TO BORING.			
11	PROVIDE PROPOSED LIMITS OF ASPHALT OVERLAY SKETCH TO KIMLEY-HORN & VOLTA (IF NEEDED).			
12	SEED & STABILIZE ALL DISTURBED AREAS AFTER FINAL GRADING.			

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE BUILDING/DWELLING, STRUCTURAL, PLUMBING, MECHANICAL, ELECTRICAL, AND FIRE/LIFE SAFETY CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUCTED TO PERMIT WORK NOT CONFORMING TO THE LOCAL GOVERNING AUTHORITIES CODES.

VOLTA PROPOSES:

- (2) STANDARD PARKING SPACES ARE TO BE CONVERTED INTO (2) STANDARD ELECTRIC VEHICLE (EV) PARKING SPACES. (2) ELECTRIC VEHICLE CHARGING STATIONS ARE TO BE INSTALLED IN LANDSCAPE ISLANDS ADJACENT TO THE EV PARKING STALLS. ELECTRICAL CONDUITS WILL BE EXTENDED FROM THE EXISTING BUILDING TO THE ELECTRIC VEHICLE CHARGING STATION. VOLTA WILL ALSO PAINT AND MARK ALL EV CHARGING PARKING SPACES AND INSTALL NECESSARY PARKING SIGNS.

APPLICANT:

VOLTA
155 DE HARO STREET
SAN FRANCISCO, CA 94103
CONTACT: SAMUEL LEE
PHONE: (917)-903-6066
EMAIL: SAMUEL.LEE@VOLTACHARGING.COM

SITE PARTNER:

STOP AND SHOP
1385 HANCOCK ST
QUINCY, MA 02169
CONTACT: LINDA CAMARA
PHONE: (508)-654-6851
EMAIL: LCAMARA@STOPANDSHOP.COM

PROGRAM MANAGER:

KIMLEY-HORN & ASSOCIATES
CONTACT: RYAN GRAM, P.E.
PHONE: (615)-564-2865
EMAIL: RYAN.GRAM@KIMLEY-HORN.COM

CIVIL ENGINEER:

KIMLEY-HORN & ASSOCIATES
CONTACT: MIKE JUNGHANS, P.E.
PHONE: (914)-368-9189
EMAIL: MIKE.JUNGHANS@KIMLEY-HORN.COM

ELECTRICAL ENGINEER:

KIMLEY-HORN & ASSOCIATES
CONTACT: JEFFREY SALLEE, P.E.
PHONE: (757)-213-8635
EMAIL: JEFFREY.SALLEE@KIMLEY-HORN.COM

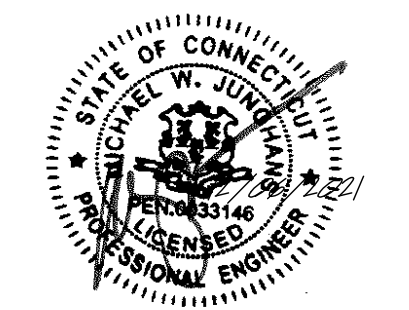
REV	DATE	DESCRIPTION	BY
1	03/03/2021	CD90s	TAS
2	05/05/2021	CD100s	TAS
3	07/21/2021	CD100s - REVISION	TAS
4	12/06/2021	CD100s - REVISION	TAS

ISSUE DATE

12/06/2021

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STOP & SHOP #2604 TORRINGTON

931 TORRINGFORD STREET TORRINGTON, CT 06790

SHEET TITLE

COVER SHEET

SHEET NUMBER

C0-00

CONTRACTOR VERIFICATION CHECKLIST

CODE BLOCK

PROJECT DESCRIPTION

PROJECT TEAM



VICINITY MAP



LOCAL MAP

Sheet Number	Sheet Title
C0-00	COVER SHEET
C0-01	GENERAL NOTES
C0-02	VOLTA STATION OVERVIEW
C1-00	OVERALL SITE PLAN
C2-00	ENLARGED SITE PLAN
C3-00	SITE DETAILS
C3-01	SITE DETAILS
C3-02	SITE DETAILS
C3-03	SITE DETAILS
E1-00	ELECTRICAL ONE LINE DIAGRAM & PANEL SCHEDULE
E2-00	ELECTRICAL NOTES & DETAILS

SHEET INDEX



DIG ALERT

Know what's BELOW.
CALL before you dig.

CALL AT LEAST TWO WORKING DAYS BEFORE YOU DIG

CONTRACTOR SHALL VERIFY ALL PLANS & EXISTING LOCATIONS, CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME

CALL BEFORE YOU DIG

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES

GENERAL NOTES:

- VOLTA WILL PROVIDE AN INSTALLATION GUIDE AND OTHER SUPPORTING DOCUMENTS AT TIME OF CONSTRUCTION.
- ALL EXISTING CONDITIONS SHOWN ARE APPROXIMATE. EXISTING UTILITY LOCATIONS AND CROSSINGS ARE TO BE LOCATED IN THE FIELD. CONTRACTOR IS TO CONTACT 811 UTILITY PRIOR TO BEGINNING ANY EXCAVATION WORK.
- ALL PAVEMENT, LANDSCAPING, UTILITIES, AND OWNER PROPERTY THAT IS DAMAGED OR AFFECTED BY CONSTRUCTION SHALL BE RETURNED TO EXISTING CONDITIONS OR BETTER AT THE CONTRACTOR'S EXPENSE.
- PROPOSED PAVEMENT STRIPING SHALL LINE UP WITH EXISTING STRIPING WHEREVER POSSIBLE. ADDITIONAL PAVEMENT STRIPE IS NOT NECESSARILY PARALLEL TO THE CONSTRUCTED CHARGING ISLAND.
- THIS ACCESSIBILITY REVIEW WAS UNDERTAKEN TO IDENTIFY DESIGN FEATURES OF THE PROJECT THAT MAY BE CONSIDERED BY GOVERNMENTAL AGENCIES OR DEPARTMENTS, OR NON-GOVERNMENTAL GROUPS TO BE NON-COMPLIANT WITH THE AMERICANS WITH DISABILITIES ACT OF 1990, REVISED 2010 ADA REGULATIONS AND STANDARDS. THE AMERICANS WITH DISABILITIES ACT OF 1990 IS A FEDERAL CIVIL RIGHTS LAW, THERE IS NO FEDERAL REVIEW PROCESS TO ENSURE FULL COMPLIANCE WITH THE GUIDELINES, EXCEPT THROUGH THE FEDERAL COURT SYSTEM. THE DEPICTIONS, NOTES, AND RECOMMENDATIONS, EXPRESSED ON THIS PLAN ARE BASED ON PROFESSIONAL JUDGEMENT GAINED FROM PAST EXPERIENCE WITH ACCESSIBILITY LAWS, CODES, AND STANDARDS AND THE WORKING INVOLVEMENT TO DEVELOP ACCESSIBILITY STANDARDS THAT WILL MEET OR EXCEED THE APPLICABLE FEDERAL GUIDELINES. ACCORDINGLY, NO CLAIMS OR WARRANTIES, EXPRESSED OR IMPLIED, ARE MADE THAT IN PREPARING THIS PLAN AND PROPOSING RECOMMENDATIONS, THAT ALL POSSIBLE BARRIERS TO ALL PEOPLE HAVE BEEN IDENTIFIED.
- CONTRACTOR SHALL ACHIEVE A MINIMUM OF 1% BUT NO MORE THAN A 2% SLOPE IN ANY DIRECTION WITHIN ADJACENT ACCESSIBLE SPACE AND BLEND ASPHALT OVERLAY TO EXISTING GRADES AS REQUIRED. CONTRACTOR SHALL PROVIDE A SKETCH TO VOLTA OF PROPOSED LIMITS OF ASPHALT OVERLAY TO ACHIEVE THIS REQUIREMENT PRIOR TO BEGINNING PAVEMENT WORK.
- ACCESSIBLE EV STALLS WERE DESIGNED BASED ON EXISTING CONDITIONS AND WITHOUT THE BENEFIT OF SURVEY DATA. ALL ADA AND LOCAL REQUIREMENTS INCLUDING BUT NOT LIMITED TO SLOPE AND SPACING SHALL BE CONFIRMED BY THE CONTRACTOR AND MET AT THE TIME OF CONSTRUCTION.
- CONTRACTOR TO NOTIFY THE ENGINEER OF ANY DISCREPANCIES IN ACCESSIBILITY PRIOR TO CONSTRUCTION.
- UNDER NO CIRCUMSTANCE IS THE CONTRACTOR TO DISRUPT ANY OPERATIONS AT THE SITE HOST LOCATION, INCLUDING BUT NOT LIMITED TO CUSTOMER DISRUPTION, UTILITIES, AND INFRASTRUCTURE.
- CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT WORK AREAS WITH CONES AND/OR BARRICADES AT ALL TIMES.

EROSION CONTROL & GRADING NOTES:

- ADDITIONAL EROSION CONTROL DEVICES TO BE USED AS REQUIRED BY LOCAL INSPECTOR.
- DISTURBED AREAS LEFT IDLE FOR FIVE DAYS, AND NOT TO FINAL GRADE, WILL BE ESTABLISHED TO TEMPORARY VEGETATION, MULCH, TEMPORARY VEGETATION OR PERMANENT VEGETATION SHALL BE COMPLETED ON ALL EXPOSED AREAS WITHIN 14 DAYS AFTER DISTURBANCE. ALL AREAS TO FINAL GRADE WILL BE ESTABLISHED TO PERMANENT VEGETATION UPON COMPLETION.
- WHEN HAND PLANTING, MULCH (HAY OR STRAW) SHOULD BE UNIFORMLY SPREAD OVER SEEDED AREA WITHIN 24 HOURS OF SEEDING. IF UNABLE TO ACCOMPLISH, MULCH SHALL BE USED AS A TEMPORARY COVER. CONCENTRATED FLOW AREAS AND ALL SLOPES STEEPER THAN 2.5:1 AND WITH A HEIGHT OF TEN FEET OR GREATER (DOES NOT APPLY TO RETAINING WALLS), AND CUTS AND FILLS WITHIN BUFFERS, SHALL BE STABILIZED WITH THE APPROPRIATE EROSION CONTROL MATTING OR BLANKETS.
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES.
- EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION CONTROL AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- SEED ALL DISTURBED AREAS UNLESS OTHERWISE NOTED AS PART OF THIS CONTRACT.
- THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT RESULT FROM THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY UNDERGROUND UTILITIES TO REMAIN. THE CONTRACTOR IS TO NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES AND/OR CONFLICTS WITH EXISTING OR PROPOSED UTILITIES PRIOR TO PROCEEDING.
- STOCKPILED TOPSOIL OR FILL MATERIAL IS TO BE TREATED SO THE SEDIMENT RUN-OFF WILL NOT CONTAMINATE SURROUNDING AREAS OR ENTER NEARBY STREAMS. STOCK PILE LOCATIONS SHALL BE COORDINATED WITH THE ENGINEER PRIOR TO GRADING ACTIVITIES. EROSION & SEDIMENT CONTROL PRACTICE SHALL BE INSTALLED PRIOR TO STOCKPILE OPERATIONS.
- CONSTRUCT SILT BARRIERS BEFORE BEGINNING GRADING OPERATIONS.
- MULCH AND SEED ALL DISTURBED AREAS AS SOON AS POSSIBLE AFTER FINAL GRADING IS COMPLETED (WITHIN 15 DAYS OF ACHIEVED FINAL GRADES) UNLESS OTHERWISE INDICATED. CONTRACTOR SHALL TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION. STEEP SLOPES (GREATER THAN 3:1) SHALL BE STABILIZED WITHIN 7 DAYS OF FINAL GRADING.
- PROVIDE TEMPORARY CONSTRUCTION ACCESS(ES) AT THE POINT(S) WHERE CONSTRUCTION VEHICLES EXIT THE CONSTRUCTION AREA. MAINTAIN PUBLIC ROADWAYS FREE OF TRACKED MUD AND DIRT.
- DO NOT DISTURB VEGETATION OR REMOVE TREES EXCEPT WHEN NECESSARY FOR GRADING PURPOSES.
- SEQUENCE OF CONSTRUCTION INCLUDED ABOVE IS A GENERAL OVERVIEW, AND IS INTENDED TO CONVEY THE GENERAL CONCEPTS OF THE EROSION CONTROL DESIGN. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETAILED PHASING AND CONSTRUCTION SEQUENCING NECESSARY TO CONSTRUCT THE PROPOSED IMPROVEMENTS INCLUDED IN THESE PLANS. THE CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY AND PRIOR TO CONSTRUCTION IF ANY ADDITIONAL DETAIL IS NECESSARY. CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPLYING WITH THE AHJ REQUIREMENTS.

ADA COMPLIANCE:

- CURB RAMPS ALONG PUBLIC STREETS AND IN THE PUBLIC RIGHT-OF-WAY SHALL BE CONSTRUCTED BASED ON THE CITY STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS.
- PRIVATE CURB RAMPS ON THE SITE (I.E. OUTSIDE PUBLIC STREET RIGHT-OF-WAY) SHALL CONFORM TO ADA STANDARDS AND SHALL HAVE A DETECTABLE WARNING SURFACE THAT IS FULL WIDTH AND FULL DEPTH OF THE CURB RAMP, NOT INCLUDING FLARES.
- ALL ACCESSIBLE ROUTES, GENERAL SITE AND BUILDING ELEMENTS, RAMPS, CURB RAMPS, STRIPING, AND PAVEMENT MARKINGS SHALL CONFORM TO ADA STANDARDS FOR ACCESSIBLE DESIGN, LATEST EDITION.
- BEFORE PLACING PAVEMENT, CONTRACTOR SHALL VERIFY THAT SUITABLE ACCESSIBLE PEDESTRIAN ROUTES (PER ADA AND FHA) EXIST TO AND FROM EVERY DOOR AND ALONG SIDEWALKS, ACCESSIBLE PARKING SPACES, ACCESS AISLES, AND ACCESSIBLE ROUTES. IN NO CASE SHALL AN ACCESSIBLE RAMP SLOPE EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPE EXCEED 2.0 PERCENT. IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPE EXCEED 5.0 PERCENT. ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL NOT EXCEED 2.0 PERCENT SLOPE IN ANY DIRECTION.
- CONTRACTOR SHALL TAKE FIELD SLOPE MEASUREMENTS ON FINISHED SUBGRADE AND FORM BOARDS PRIOR TO PLACING PAVEMENT TO VERIFY THAT ADA SLOPE REQUIREMENTS ARE PROVIDED. CONTRACTOR SHALL CONTACT ENGINEER PRIOR TO PAVING IF ANY EXCESSIVE SLOPES ARE ENCOUNTERED. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR ADA SLOPE COMPLIANCE ISSUES.

SITE NOTES:

- HORIZONTAL DIRECTIONAL DRILLING (HDD) OR OTHER TRENCHLESS METHODS AS APPROVED BY SITE HOST ARE THE PREFERRED METHOD TO INSTALL CONDUIT BENEATH EXISTING PARKING LOTS AND PAVED AREAS.
 - CONDUIT SHALL BE INSTALLED AT A MINIMUM DEPTH OF TWO AND ONE-HALF FEET (2.5') OR BELOW THE FREEZE LINE, WHICHEVER IS DEEPER. CONDUIT TYPE AND DESIGN TO BE SPECIFIED BY EV CHARGING STATION VENDOR AND MEET ALL LOCAL REQUIREMENTS. CONDUIT DIAMETER SHALL BE NO LARGER THAN TWO (2) INCHES.
 - THE RECEIVING PIT SHALL BE LOCATED AS CLOSE AS REASONABLY POSSIBLE TO THE PROPOSED WALL PENETRATION TO LIMIT THE LENGTH OF BUILDING-MOUNTED CONDUIT. LOCATE RECEIVING PIT WITHIN ASPHALT PAVED AREA OR CONCRETE SIDEWALK AREA. RECEIVING PIT SHALL NOT BE LOCATED WITHIN THE UNLOADING PAD [SIX TO TEN INCH (6-10") REINFORCED CONCRETE SLAB AT THE REAR OF THE STORE]. RECEIVING PIT LOCATION AND WORK AREA SHALL NOT AFFECT SITE HOST CUSTOMER OR DELIVERY TRAFFIC. SEE SUPPLEMENTAL DOCUMENTS, RECEIVING AREA DIAGRAM. THE RECEIVING PIT SIZE SHALL BE LIMITED TO THREE FEET (3') BY THREE FEET (3') AND SHALL NOT UNDERMINE THE BUILDING FOUNDATION, ENCLOSURES OR CONCRETE UNLOADING PAD.
 - BACKFILL EXCAVATIONS AND REPAIR PAVEMENT PER SPECIFICATIONS BELOW.
 - WHERE CONCRETE PAVEMENT, SIDEWALK, ASPHALT PAVEMENT, CURBING, OR CURBING GUTTER IS REMOVED, THE WIDTH OF THE REMOVAL SHALL EXCEED THE ACTUAL WIDTH AT THE TOP OF THE TRENCH BY TWELVE INCHES (12") ON EACH SIDE OF THE TRENCH, OR A TOTAL OF TWO FEET (2') WIDER THAN THE TRENCH.
 - TRENCHING THROUGH THE CONCRETE RECEIVING PAD AT THE REAR OF THE STORE OR THE DRIVE-THRU SLAB IS NOT ALLOWED. ONLY TRENCHING THROUGH MINOR CONCRETE INSTALLATIONS SUCH AS SIDEWALKS WILL BE PERMITTED.
 - EXCAVATE TRENCHES TO A DEPTH FOUR INCHES (4") DEEPER THAN BOTTOM OF FINISHED PIPE ELEVATION.
 - THE BOTTOM WIDTH OF THE TRENCH SHALL BE AS REQUIRED TO PERMIT CONDUIT TO BE PROPERLY LAIN AND BACKFILL TO BE PLACED AND PROPERLY COMPACTED.
 - REMOVED PAVEMENT, CONCRETE AND EXCAVATED MATERIALS UNSUITABLE FOR USE AS BACKFILL SHALL BE DISPOSED OFFSITE.
 - BEDDING AND BACKFILL MAY BE MATERIAL EXCAVATED FROM THE TRENCH PROVIDED THAT IT IS FREE FROM DEBRIS AND ROCKS LARGER THAN ONE AND ONE-HALF INCHES (1-1/2").
 - OVER THE PIPE, IN LAYERS NOT EXCEEDING FOUR INCHES (4"), PLACE AND COMPACT SUITABLE FILL MATERIAL TO NINETY-FIVE PERCENT (95%) DRY DENSITY AS DETERMINED BY ASTM D698.
 - COMPACTING EQUIPMENT SHALL BE OF SUCH DESIGN, WEIGHT, AND QUALITY AS IS REQUIRED TO OBTAIN THE DENSITIES SPECIFIED HEREIN OR INDICATED ON THE DESIGN DRAWINGS. AREAS INACCESSIBLE TO SELF-PROPELLED COMPACTING EQUIPMENT SHALL BE COMPACTED OR CONSOLIDATED BY HAND-OPERATED MECHANICAL TAMPERS OR VIBRATORS.
 - RESTORE GRASS, LANDSCAPING, IRRIGATION AND ALL FEATURES TO THEIR PRECONSTRUCTION CONDITION.
- ANY UTILITIES, PAVEMENT, IRRIGATION, LANDSCAPING OR OTHER SITE FEATURES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED BY EV CHARGING STATION VENDOR TO SITE HOST SPECIFICATION.
 - WHERE LANDSCAPING IS IMPACTED, IT IS THE RESPONSIBILITY OF EV CHARGING STATION VENDOR TO REPOSITION OR PROVIDE NEW LANDSCAPING WITHIN THE SITE HOST PROPERTY TO ENSURE COMPLIANCE WITH ANY CODE REQUIREMENTS.
 - WHERE PARKING LOT, SIDEWALK OR OTHER PAVED AREAS ARE IMPACTED OR DAMAGED, IT IS THE RESPONSIBILITY OF THE EV CHARGING STATION VENDOR TO REPAIR THE AREA TO LIKE NEW CONDITION. REPAIR SHOULD EXTEND BEYOND DAMAGED AREA TO NEAREST CLEAN BREAK THAT ALIGNS WITH ARCHITECTURAL BREAKS, MATERIAL JOINTS, PAVEMENT MARKINGS, ETC.
- WHERE APPLICABLE, UTILITY SERVICE PROVIDER TO USE SITE HOST APPROVED ROE (RIGHT OF ENTRY) AGREEMENT. SITE HOST PROGRAM MANAGER WILL PROVIDE TEMPLATE WHEN NECESSARY.
- ASPHALT PAVEMENT REMOVAL AND REPLACEMENT
 - SAW CUT THE PAVEMENT TO NEAT, STRAIGHT LINES TO THE FULL DEPTH OF THE PAVEMENT. PAVEMENT REMOVAL SHALL EXTEND A MINIMUM OF TWELVE INCHES (12") BEYOND THE EDGES OF THE REMOVAL AREA. ANY OTHER PAVEMENT AREAS DAMAGED DURING REMOVAL SHALL ALSO BE REPAIRED OR REPLACED AS NECESSARY.
 - REMOVE THE PAVEMENT WITHOUT DAMAGING THE PAVEMENT THAT IS TO REMAIN IN-PLACE.
 - IF BASE REPLACEMENT IS REQUIRED, COMPACT THE IN-SITU SOILS TO NINETY-FIVE PERCENT (95%) ASTM D698 AND PLUS OR MINUS TWO PERCENT (2%) OF OPTIMUM MOISTURE CONTENT. REMOVE AND REPLACE ANY UNSUITABLE IN-SITU SOILS.
 - PLACE AND COMPACT BASE MATERIAL TO NINETY-FIVE PERCENT (95%) OF ASTM D698.
 - APPLY PRIME COAT TO AGGREGATE BASE IN COMPLIANCE WITH THE DOT SPEC. PRIME COAT SHALL NOT BE APPLIED MORE THAN TWENTY-FOUR (24) HOURS BEFORE ASPHALT PAVEMENT IS PLACED. APPLICATION RATE TO BE PER THE DOT SPEC.
 - CLEAN AND APPLY TACK COAT TO THE ENDS OF CURBS, EDGES OF CONCRETE SURFACES, EDGES OF MANHOLES AND INLETS AND EDGES OF SAW CUT PAVEMENT THAT WILL REMAIN IN-PLACE.
 - PLACE AND COMPACT HOT-MIX ASPHALT. HOT-MIX ASPHALT THICKNESS SHALL BE THE GREATER OF THE IN-PLACE ASPHALT OR THREE AND ONE-HALF INCHES (3.5"), ASPHALT MIX DESIGN SHALL BE BY THE CONTRACTOR.
 - PLANT MIXED ASPHALT BASE/BINDER COURSE: PROVIDE ONE COURSE LAID TO A MINIMUM COMPACTED THICKNESS OF TWO INCHES (2").
 - PLANT MIXED ASPHALT SURFACE COURSE: PROVIDE ONE COURSE LAID TO A MINIMUM COMPACTED THICKNESS OF ONE AND ONE-HALF INCHES (1-1/2").
 - FOR SMALLER JOBS, IT MAY NOT BE FEASIBLE TO INSTALL BINDER AND SURFACE COURSES, IN WHICH CASE SURFACE COURSE, PLACED AND COMPACTED IN TWO LIFTS, WILL BE ACCEPTED.
 - IF PLACING HOT MIX ASPHALT WITH A SHOVEL, BEGIN PLACING HMA AGAINST THE EDGES OF THE PATCH AND WORKING INWARD. HMA SHOULD NOT BE PLACED IN THE CENTER OF THE PATCH AND RAKED TOWARDS THE EDGES.
 - THE FIRST PASS OF THE ROLLER OR COMPACTION EQUIPMENT SHOULD BE ALONG THE EDGES OF THE PATCH TO PROPERLY FORM THE JOINT. THE ROLLER WHEEL OR COMPACTION EQUIPMENT SHOULD OVERHANG THE EXISTING PAVEMENT ONTO THE PATCH BY SIX INCHES (6"). AFTER THE PERIMETER OF THE PATCH HAS BEEN COMPACTED BEGIN TO WORK TOWARDS THE CENTER OF THE PATCH WITH SUCCESSIVE PASSES OFFSET BY SIX INCHES (6").
 - THE CONTRACTOR SHALL UTILIZE THE APPROPRIATE HEAVY COMPACTION EQUIPMENT TO ACHIEVE THE REQUIRED COMPACTION OF THE ASPHALT.
 - SEAL THE AREA AROUND THE EDGES WITH AN ELASTOMERIC LIQUID ASPHALT SEALER TO PROTECT AGAINST WATER INFILTRATION, INCLUDING ANY INADVERTENT OVERCURTS DURING THE SAW CUTTING PROCEDURE.

PROJECT LEGEND:
(SCALE VARIES PER SHEET)

	DETAIL NO. C3-01
	PROPERTY LINE
	BREAK LINE
	EXISTING CURB AND GUTTER
	EXISTING PARKING STRIPE
	EXISTING FENCE
	EXISTING CONCRETE PAD
	EXISTING GRAVEL AREA
	EXISTING LANDSCAPED AREA
	EXISTING TREE
	EXISTING SHRUB
	EXISTING ROCK
	EXISTING FIRE HYDRANT
	EXISTING CATCH BASIN / MANHOLE
	EXISTING POWER POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	EXISTING STRUCTURE / UTILITY
	EXISTING ELECTRICAL ROOM / PANEL
	PROPOSED ELECTRICAL CONDUIT
	PROPOSED ELECTRICAL JUNCTION BOX
	PROPOSED COMMUNICATIONS CONDUIT
	PROPOSED COMMUNICATIONS JUNCTION BOX
	PROPOSED CURB AND GUTTER
	PROPOSED PARKING STRIPE
	PROPOSED CONCRETE WHEEL STOP
	PROPOSED CONCRETE PAD
	PROPOSED TREE PROTECTION
	PROPOSED VOLTA V4 L2 CHARGING STATION
	PROPOSED VOLTA V4 L2 POST-INSTALLED CHARGING STATION
	PROPOSED VOLTA V4 L2 EVCS W/ 4' PIPE BOLLARDS
	PROPOSED VOLTA V4 L3 DCFC CHARGING STATION
	PROPOSED PCS FOUNDATION
	PROPOSED PCS FOUNDATION W/ 4' BOLLARDS
	PROPOSED L2 REMOTE CHARGING UNIT FOUNDATIONS
	PROPOSED eBOX & eCLICK
	PROPOSED SIGN POST
	PROPOSED SIGN POST W/ BOLLARD
	PROPOSED POST INSTALLED SIGN POST
	PROPOSED POST INSTALLED SIGN POST W/ BOLLARD
	PROPOSED WALL MOUNTED SIGN
	PROPOSED 4' ISOLATED PIPE BOLLARD

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES.

VOLTA

155 DE HARO STREET
SAN FRANCISCO, CA 94103

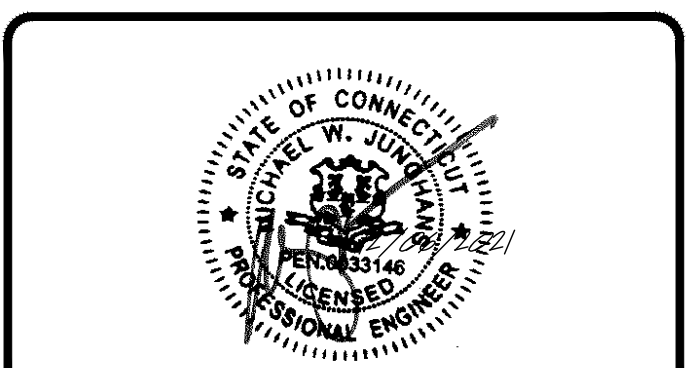
Kimley»Horn

1 N LEXINGTON AVE, SUITE 505
WHITE PLAINS, NY 10601
Main: 914.368.9200 | www.kimley-horn.com
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**STOP & SHOP #2604
TORRINGTON**

**931 TORRINGTON STREET
TORRINGTON, CT 06790**

SHEET TITLE
GENERAL NOTES

SHEET NUMBER
C0-01

Volta Gen4 L2 Station

Volta provides turn-key Electric Vehicle (EV) charging services for premium retail and entertainment destinations. We install and maintain the charging amenity at no cost to site partners as well as EV drivers, driving increased property value and attracting more customers who stay longer.

VOLTA STATION BENEFITS

- Installation, equipment and maintenance is paid by Volta
- Charges all electric vehicles
- Free electricity supported through third party content on displays
- Volta stations are occupied 80% of the retail day
- Volta has provided 88M free sponsored electric miles, delivered 25 gigawatt hours and eliminated over 39M pounds of CO2 emissions

CHARGING UNIT INFORMATION *(Single Charging Units)*

- Size: H 85.0" x W 36.5" x D 15.5"
- Display Size: H 48" x W 27"
- Power Type: 208/240VAC, 48A, 10kW max; UL 2202
- Plug: SAE J1772 compliant connector

POWER REQUIREMENTS

- Charging unit: 60A/2P, 208/240 breaker
- Display/connectivity: 20A/1P, 120V breaker

INSTALLATION REQUIREMENTS

- Wire Diameter: #6 AWG minimum. Larger for longer conduit runs
- Conduit Diameter: 1.5" minimum per station. Larger conduit required for runs over 250'



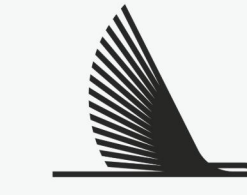
55" Media Display

Charges up to 30miles per hour

Universal J1772 connections

Cable Management

Fully Networked



VOLTA

155 DE HARO STREET
SAN FRANCISCO, CA 94103

Kimley»Horn

1 N LEXINGTON AVE, SUITE 505
WHITE PLAINS, NY 10601
Main: 914.368.9200 | www.kimley-horn.com
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**FOR
INFORMATIONAL
PURPOSES ONLY**

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**STOP & SHOP #2604
TORRINGTON**

**931 TORRINGTON STREET
TORRINGTON, CT 06790**

SHEET TITLE

**VOLTA STATION
OVERVIEW**

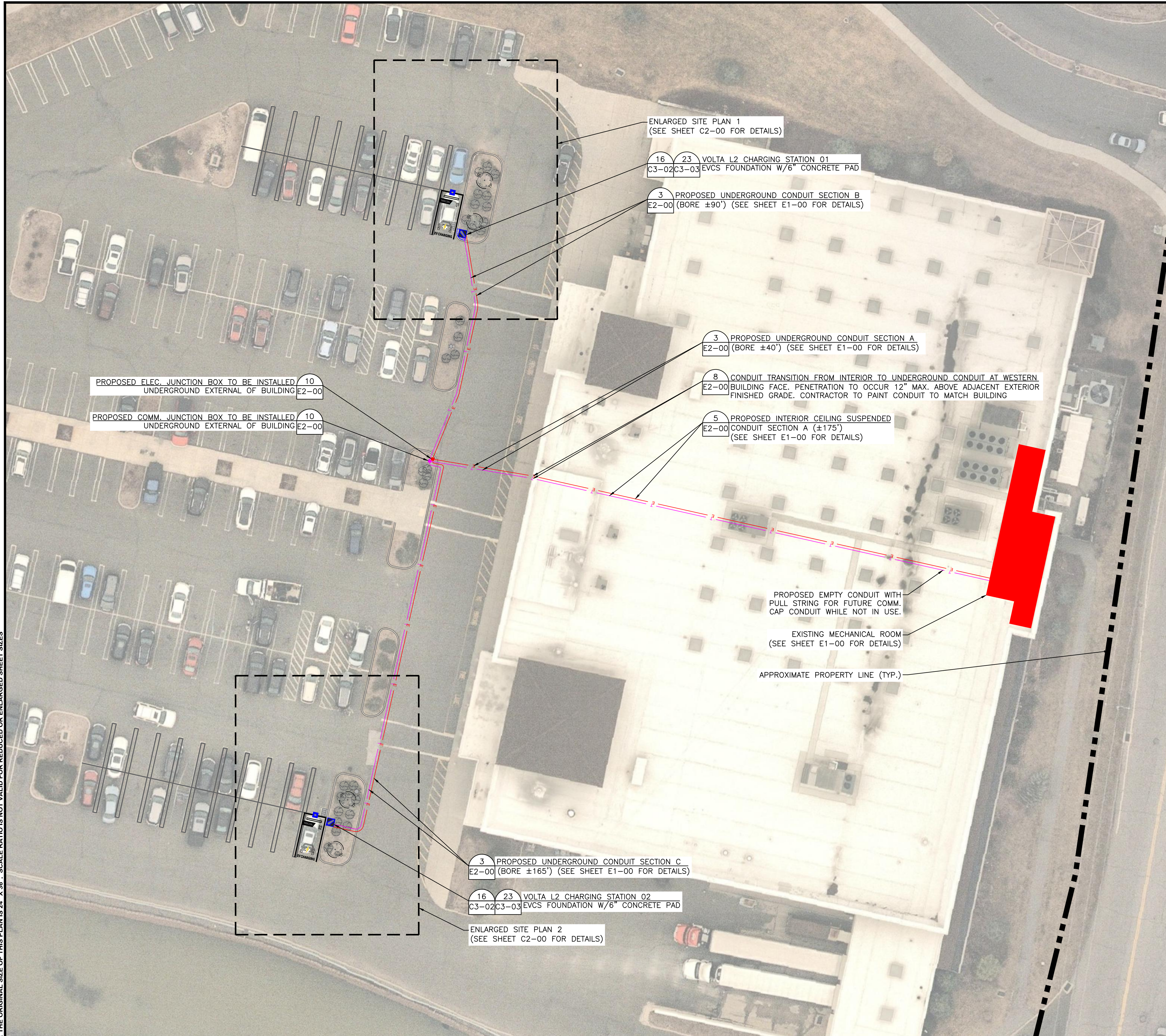
SHEET NUMBER

C0-02

volta

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NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES



OVERALL SITE PLAN

DISCLAIMER

THESE DRAWINGS WERE PRODUCED WITHOUT THE BENEFIT OF A CURRENT LAND SURVEY. ALL PROPERTY LINES, EASEMENTS, SETBACKS, EXISTING INFRASTRUCTURE AND TITLE DOCUMENTS SHALL BE VERIFIED PRIOR TO START OF CONSTRUCTION. KIMLEY-HORN AND VOLTA DO NOT GUARANTEE THE ACCURACY OF SAID PROPERTY LINES, EASEMENTS, SETBACKS, EXISTING INFRASTRUCTURE AND TITLE DOCUMENTS.

CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL FIELD CONDITIONS AND IS TO ALERT THE ENGINEER AND VOLTA OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION. CONTRACTOR TO COORDINATE WITH VOLTA PM FOR ALL FINAL PLACEMENTS OF INFRASTRUCTURE.

CONSTRUCTION NOTES:

- CONTRACTOR RESPONSIBILITIES CONSISTS OF, BUT NOT LIMITED TO, CHARGING STATION MOUNTING, FOUNDATION CONSTRUCTION, CONDUIT INSTALLATION, AND WIRING.
- CONTRACTOR TO PAINT PROPOSED EV PARKING SPACES PER JURISDICTIONAL REQUIREMENTS.
- CONTRACTOR TO INSTALL TREE PROTECTION FENCING PRIOR TO ANY CONSTRUCTION ACTIVITY. SEE SHEET C3-00 FOR DETAILS.
- EXACT STATION PLACEMENT AND ROTATION ANGLE MAY VARY SLIGHTLY UPON INSTALLATION DEPENDING ON SITE CONDITIONS.
- CONTRACTOR TO FIELD VERIFY ALL STALL DIMENSIONS AND ALL EQUIPMENT LOCATIONS TO ENSURE SUFFICIENT SPACE IS AVAILABLE.
- CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS WHEN DRILLING INTO EXISTING CIP SLAB AND CIP DROP PANELS TO AVOID DAMAGE TO ANY REINFORCING AND EXISTING STRUCTURAL COMPONENTS.
- USE APPROVED ASTM METHOD (X-RAY, PACOMETER, GPR, ETC.) TO LOCATE MILD STEEL AND PRE-STRESSING TENDONS PRIOR TO DRILLING. DO NOT CUT OR DRILL THROUGH ANY EXISTING REINFORCING. ADJUST LOCATION AS NECESSARY TO AVOID EXISTING REINFORCING. ENSURE 1" GAP MIN. BETWEEN REBAR AND ANCHORAGE.
- VOLTA WILL MAKE EVERY EFFORT TO FOLLOW, WITH THEIR PROPOSED CONDUIT, AN EXISTING CONDUIT ROUTE FROM ELECTRICAL ROOM TO PROPOSED STATION PLACEMENTS. WHEN AN EXISTING ROUTE IS NOT AVAILABLE, VOLTA WILL MAKE EVERY EFFORT TO CONCEAL/HIDE, PAINT AND MINIMIZE VISUAL IMPACT OF CONDUITS ANYWHERE THEY MAY BE VISIBLE TO THE PUBLIC.
- CONTRACTOR IS RESPONSIBLE TO LOCATE ALL VERTICAL AND HORIZONTAL UTILITIES PRIOR TO DIRECTIONAL BORING. ANY ALTERATIONS TO THE PROPOSED CONDUIT ROUTE ARE TO BE COORDINATED WITH THE PROFESSIONAL ENGINEER(S) PRIOR TO CONSTRUCTION.
- ANY ITEMS TO REMAIN THAT ARE DAMAGED BY THE CONTRACTOR SHALL BE REPLACED TO THE EXISTING CONDITION OR BETTER AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR TO LOCATE JUNCTION BOX OR APPROVED ALTERNATIVE FOR SITE SPECIFIC RUN LENGTHS AND BENDS.

REFERENCE NOTE:

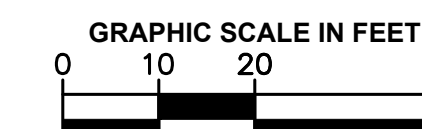
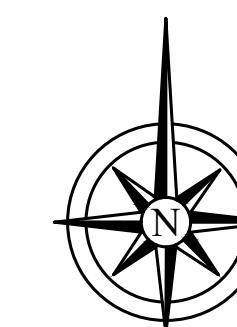
- SEE PROJECT LEGEND ON SHEET C0-01 FOR SYMBOLS AND LINE TYPE DESCRIPTIONS.

SITE DATA:

- EXISTING USE: SUPERMARKET
- PROPOSED USE: SUPERMARKET (NO CHANGE)
- ZONED: LB
- SIZE OF PROPERTY: 11.41 AC
- GROSS FLOOR AREA OF SUPERMARKET: 58,553 SF
- INCREASE IN IMPERVIOUS SURFACES: 25 SF
- HEIGHT OF BUILDING: 44'9.5"
- NUMBER OF STORIES: 2 STORIES
- EXISTING PARKING ON SITE: 225 STALLS
- PROPOSED PARKING ON SITE: 225 STALLS (NO CHANGE)
- LOADING SPACES: NO CHANGE

IMAGE REFERENCE:

AERIAL IMAGE(S) PROVIDED BY NEARMAP IMAGERY ©2021 Nearmap, HERE



VOLTA

155 DE HARO STREET
SAN FRANCISCO, CA 94103

Kimley»Horn

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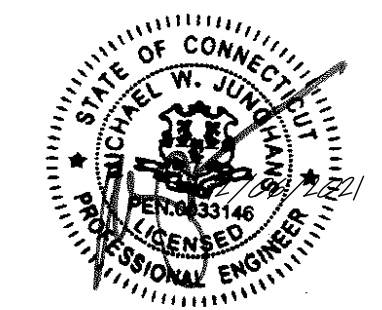
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**STOP & SHOP #2604
TORRINGTON**

**931 TORRINGTON STREET
TORRINGTON, CT 06790**

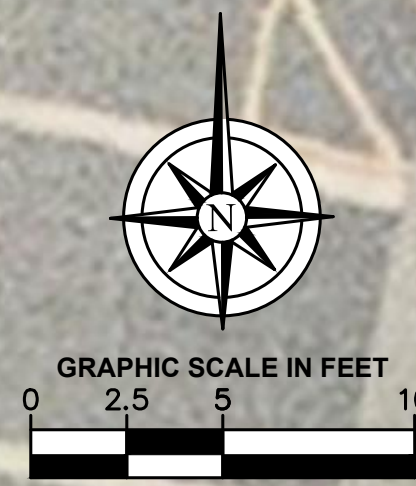
SHEET TITLE

**OVERALL SITE
PLAN**

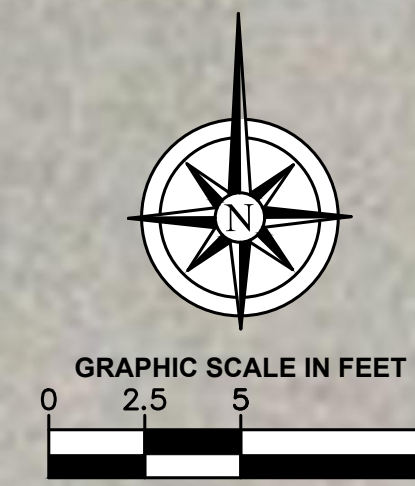
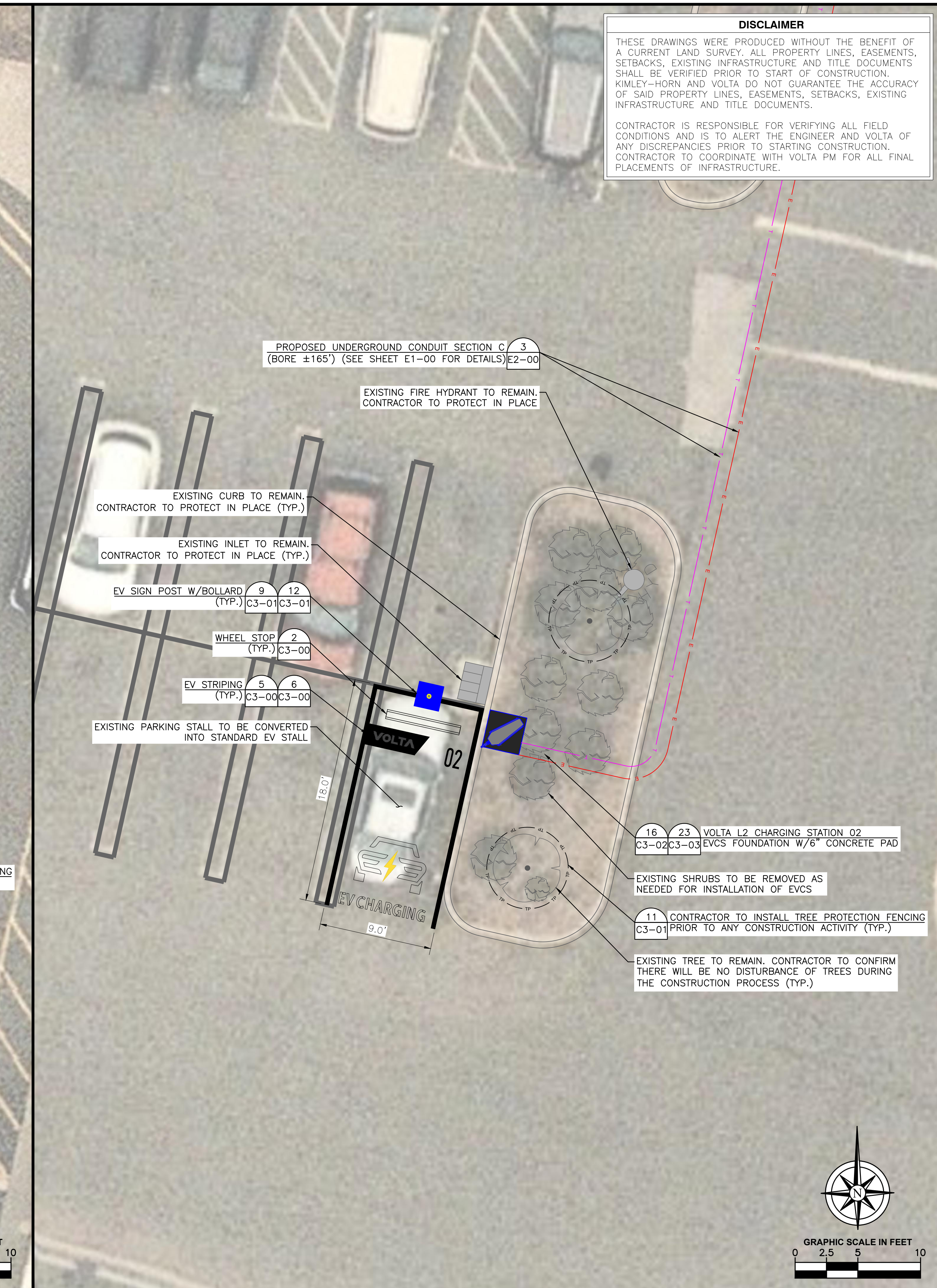
SHEET NUMBER

C1-00

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ENLARGED SITE PLAN



ENLARGED SITE PLAN

VOLTA

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SAN FRANCISCO, CA 94103

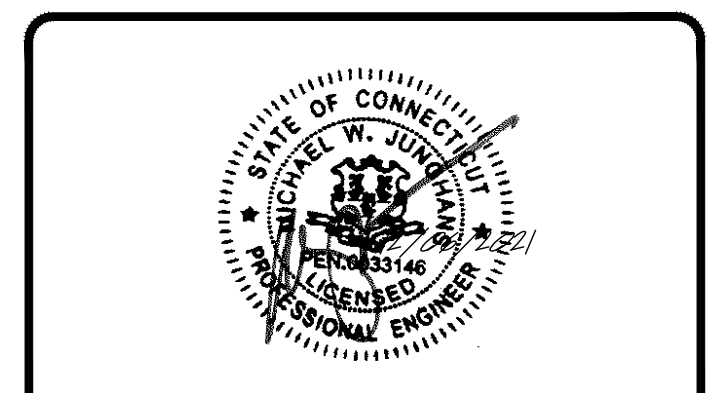
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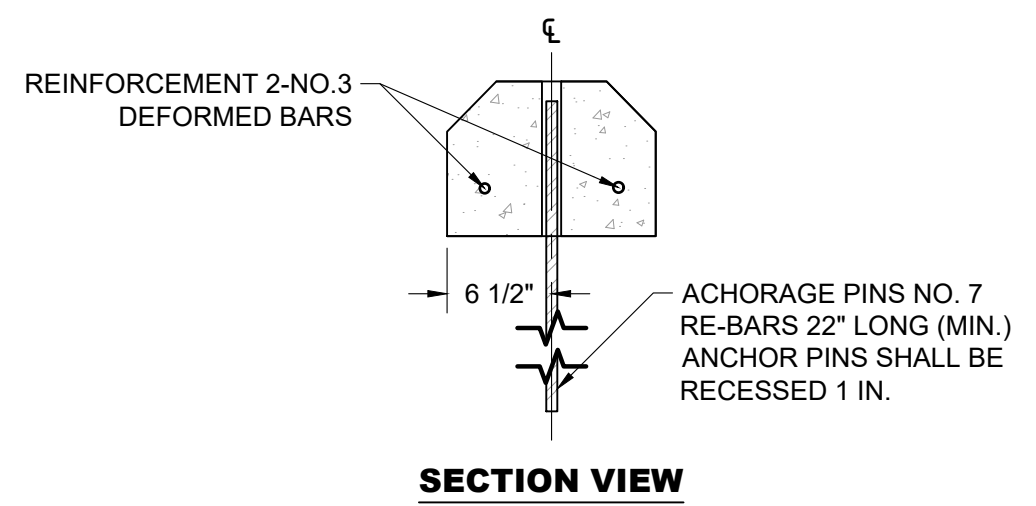
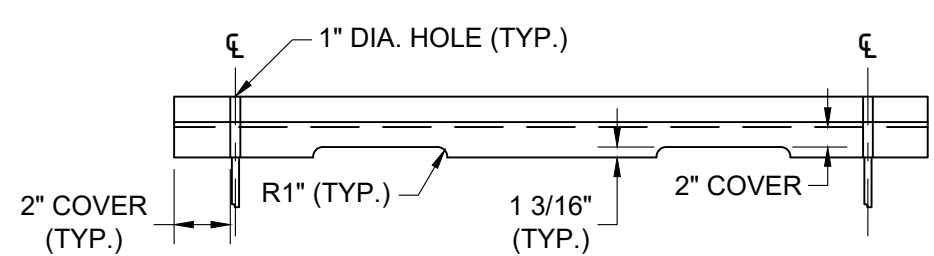
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TORRINGTON**

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TORRINGTON, CT 06790

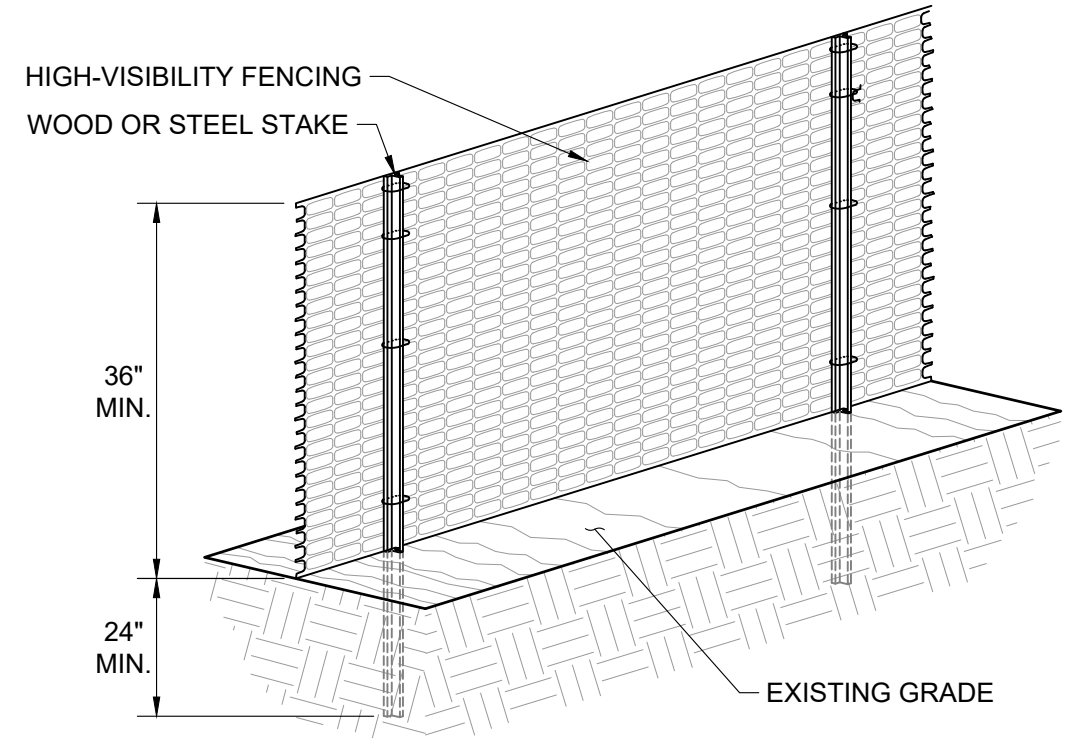
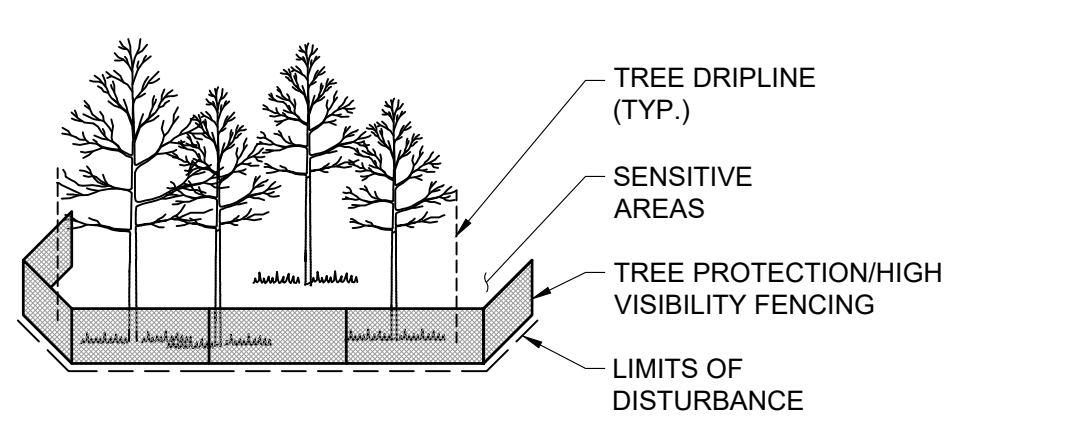
SHEET TITLE
**ENLARGED SITE
PLAN**

SHEET NUMBER
C2-00

- UNLESS NOTED OTHERWISE, THE FOLLOWING NOTES RELATING TO THE "SITE DETAILS" SHEETS SHALL GOVERN.
 - COMPRESSIVE STRENGTH OF CONCRETE FOUNDATION SHALL BE A MINIMUM OF 4,500 PSI AT 28 DAYS WITH MAXIMUM W/C RATIO OF 0.45 AND AIR-CONTENT OF 5% +/- 1.5%.
 - MINIMUM YIELD STRENGTH OF REINFORCEMENT TO BE 60,000 PSI (ASTM-A615).
 - REFERENCE CIVIL AND ELEC DRAWING FOR EQUIPMENT LAYOUT, LOCATION OF CONDUIT, ETC.
 - FINAL ANCHOR BOLT AND POLE DESIGN INCLUDING SIZE AND CONFIGURATION ARE BY MFR.
 - BEFORE STARTING ANY WORK, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON THE SITE AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ENGINEER.
 - NO GEOTECHNICAL ENGINEERING REPORT WAS PROVIDED BY THE OWNER. FOUNDATION DESIGN IS BASED ON A MINIMUM OF 1,500 PSF NET ALLOWABLE BEARING PRESSURE ON UNDISTURBED NATURAL SOIL OR COMPACTED FILL UNLESS OTHERWISE NOTED.
 - UNLESS OTHERWISE DIRECTED BY THE OWNER, ALL FOUNDATION WORK RELATED TO INSTALLATION OF REBAR SHALL BE INSPECTED BY OTHERS.
 - KIMLEY-HORN AND ASSOCIATES, INC. IS NOT RESPONSIBLE FOR THE DESIGN OF THE EQUIPMENT OR ANCHORAGE TO THE FOUNDATION. MANUFACTURER SHALL SUBMIT LOADS TO ENGINEER FOR RECORD KEEPING PURPOSES ONLY.
 - DESIGN IS BASED ON THE SPECIFIC EQUIPMENT SHOWN IN THESE DRAWINGS AND ILLUSTRATED ON THE VOLTA CUT SHEETS.
 - ALL MATERIALS SHALL BE IN ACCORDANCE WITH THE LOCAL DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.
 - ALL FOUNDATIONS ARE TO INCLUDE COMPACTED SUBGRADE AND MINIMUM 6" COMPACTED STONE BASE UNLESS OTHERWISE SPECIFIED.
 - BUILDING CODE: IBC 2018
DESIGN PARAMETERS (PER ASCE 7-16):
WIND SPEED: 115 MPH
EXPOSURE CATEGORY: C
TOPOGRAPHY CATEGORY: 1
RISK CATEGORY: II
SEISMIC PARAMETERS:
Ss = .174g
S1 = .054g
 - SITE CLASS: D
FROST DEPTH: 50"
FEMA FLOOD ZONE: X
- NOTE: BOLLARDS ARE NOT DESIGNED FOR FULL 6 KIP IMPACT LOADS UNLESS OTHERWISE NOTED AS "VEHICULAR RATED".



- NOTES:
- PRECAST CONCRETE WHEEL STOPS SHALL BE LOCATED AS SHOWN ON THE PLANS. THEN SECURED IN PLACE WITH TWO (2) NO. 7 REINFORCEMENT BARS PER WHEEL STOP.
 - COST OF THE REINFORCEMENT BARS WILL BE INCIDENTAL TO THE CONTRACT UNIT PRICE BID PER EACH FOR THE WHEEL STOPS.
 - WHEEL STOPS TO BE PAINTED WHITE IN ACCORDANCE WITH STRIPING GUIDELINES.



NOTE: FURNISH AND INSTALL TEMPORARY HIGH-VISIBILITY FENCING AT CONSTRUCTION LIMITS PRIOR TO ANY LAND DISTURBANCE.

NOT
USED

GENERAL NOTES SCALE N.T.S. 1

CONCRETE WHEEL STOP SCALE N.T.S. 2

TREE PROTECTION SCALE N.T.S. 3

NOT USED SCALE N.T.S. 3

VOLTA

155 DE HARO STREET
SAN FRANCISCO, CA 94103

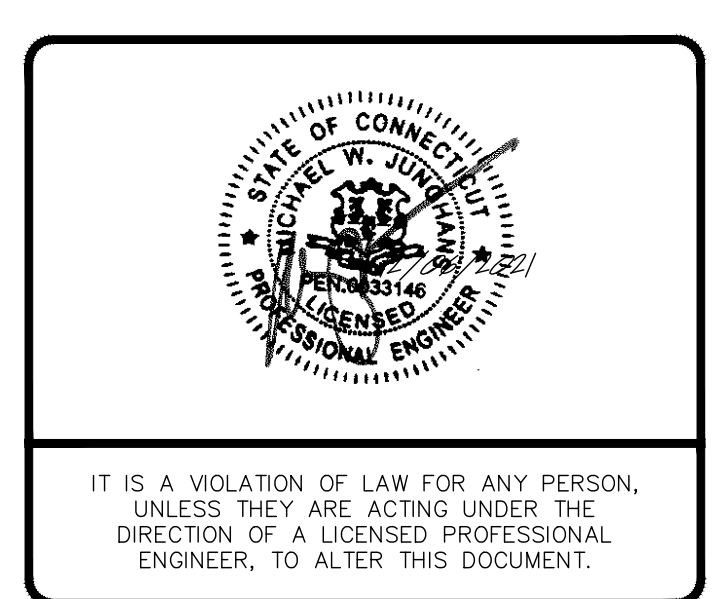
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STOP & SHOP #2604 TORRINGTON
931 TORRINGTON STREET TORRINGTON, CT 06790

SHEET TITLE
SITE DETAILS

SHEET NUMBER
C3-00

FOR REFERENCE ONLY, DESIGNED AND PROVIDED BY OTHERS

Volta Charging
STRIPING GUIDELINES

PRODUCTS

Cement Background: Benjamin Moore Floor & Patio Battleship Blue N122-2X
S12x30.0 B11x0.0 G10x30.0
Asphalt Background: Latex-ite 4.75 Gal Ultra Shield Driveway Filler Sealer
Traffic Paint: Sherwin Williams TM2153 LF Yellow TTP-1952D, TM2152 White TTP-1952D

SURFACE PREP

Backgrounds are to only be painted for marquee locations or any location where the existing space has conflicting designations or is poor shape. For all other instances please proceed to branded striping.

CEMENT BACKGROUND:
For cement backgrounds please use battleship blue. All backgrounds must run edge-to-edge across the entire parking space.

ASPHALT BACKGROUND:
Asphalt should be resealed with sealcoat. All backgrounds must run edge-to-edge across the entire parking space.

BRANDED STRIPING

VOLTA LOGO:
Should match the overall background color of the parking stall (unless you are omitting the container shape according to other specs, if so paint it white).

LINES & STENCILS:
Use traffic grade yellow for the lightning bolt stencil. Use traffic grade white for all other lines and stencils.

*Mock up to scale 9'x18' stall.

1 of 3

volta Founded in 2010. Designed in San Francisco, built to last in the USA. info@voltacharging.com

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Volta Charging
STRIPING GUIDELINES

ABSOLUTELY DO NOT

- Paint only a portion of the background (edge-to-edge or not at all)
- Paint the lightning bolt, any color but yellow or white
- Only put 1 number in top right corner
- Paint the Volta logo any color other than white or Battleship Blue/Sealcoat

ACCESSORIES

6. WHEEL BLOCKS Place 8 inches above the Volta logo, centered within the stall. Wheel Blocks should be painted white.

7. ACCESS AISLE Should be painted white.

CURBS No need to paint the curbs unless they are painted an existing or conflicting color. If this is the case, paint the curb white.

*Mock up to scale 12'x18' stall with 5' access aisle.

2 of 3

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Volta Charging
STRIPING GUIDELINES

DIAGONAL STALLS

- SHAPE** (SEE PAGE 1) Omit in diagonal spaces.
- VOLTA LOGO** (WHITE) 6 inches from the top line at the same angle as the stall lines.
- NUMBERS** (WHITE) The right number lines up flush right to the "G" in "CHARGING" and flush top with the Volta logo at same angle as the stall line. There should be 3 inches in-between the left and right numbers. If stall is less than 8 feet, align numbers with the middle of the "G" (See diagram)
- LETTERS** Place centered, 4 inches from the bottom of the stall according to the top line.

EL BLOCKS Place 8 inches above the go in the same angle as the stall lines, according to the space left in angled heel Blocks should be painted white.

NOT
USED

*Mock up to scale 8'x14' stall at 45° angle.

3 of 3

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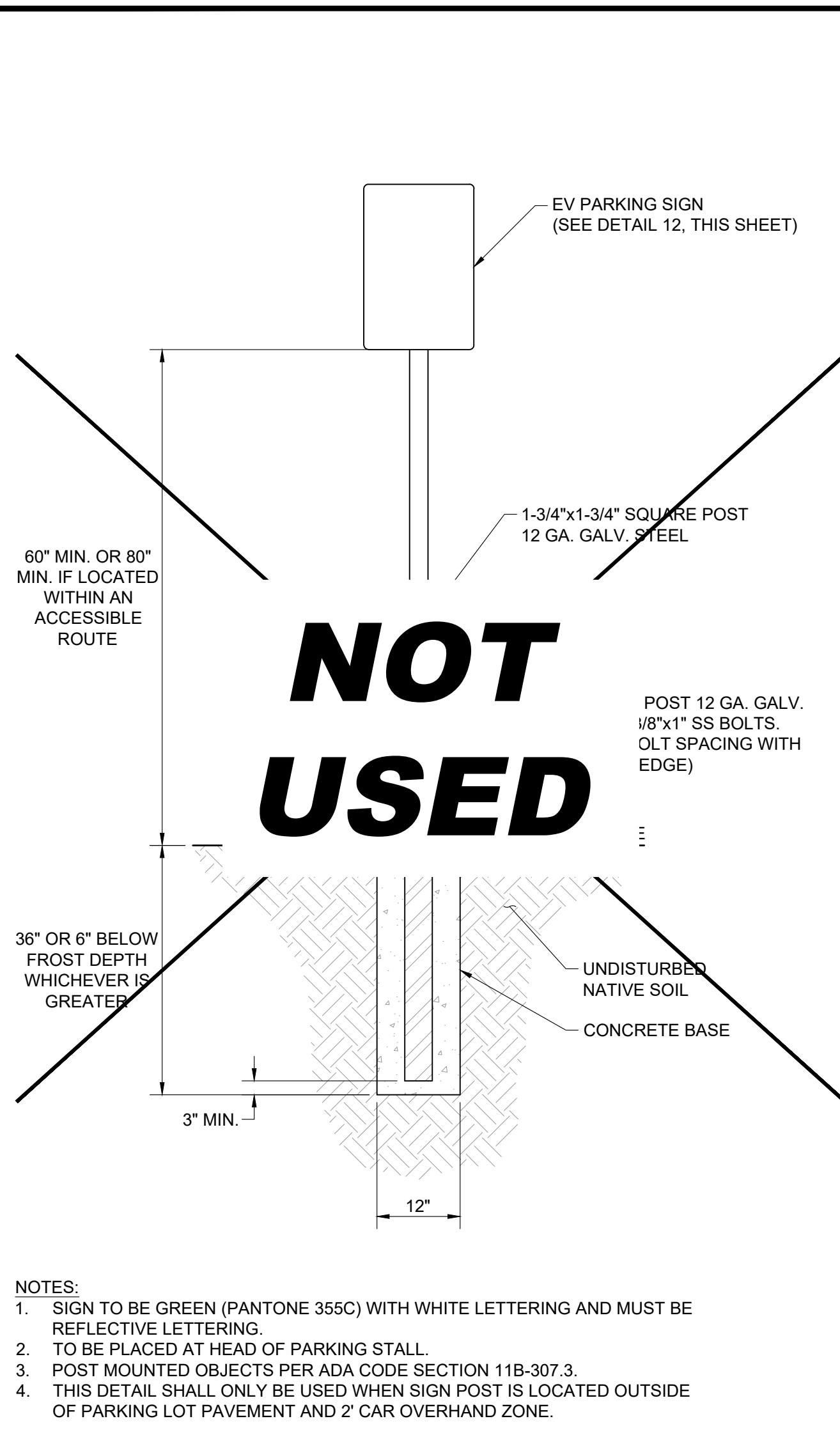
EV STRIPING GUIDELINES SCALE N.T.S. 5

EV STRIPING GUIDELINES SCALE N.T.S. 6

EV STRIPING GUIDELINES SCALE N.T.S. 7

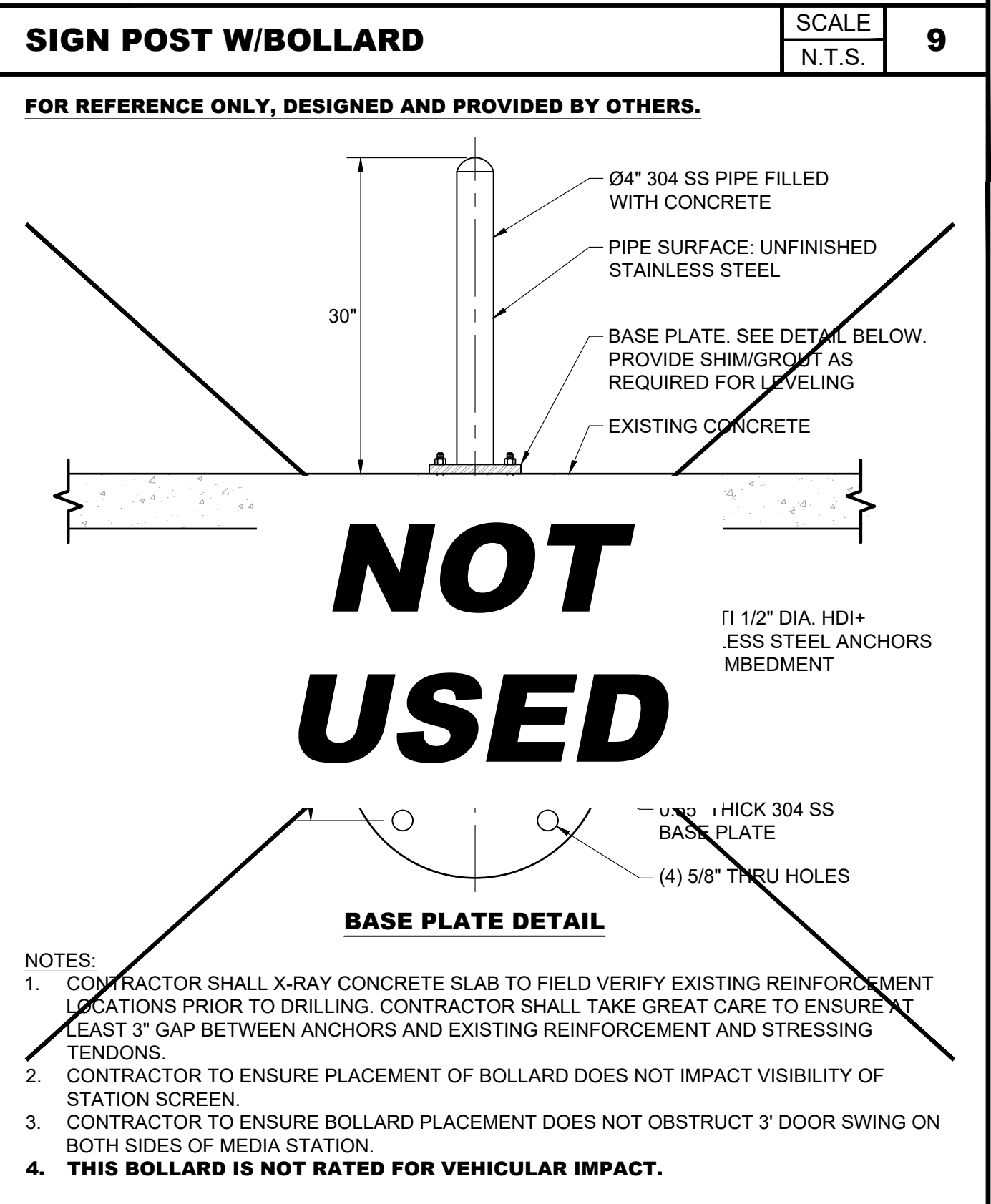
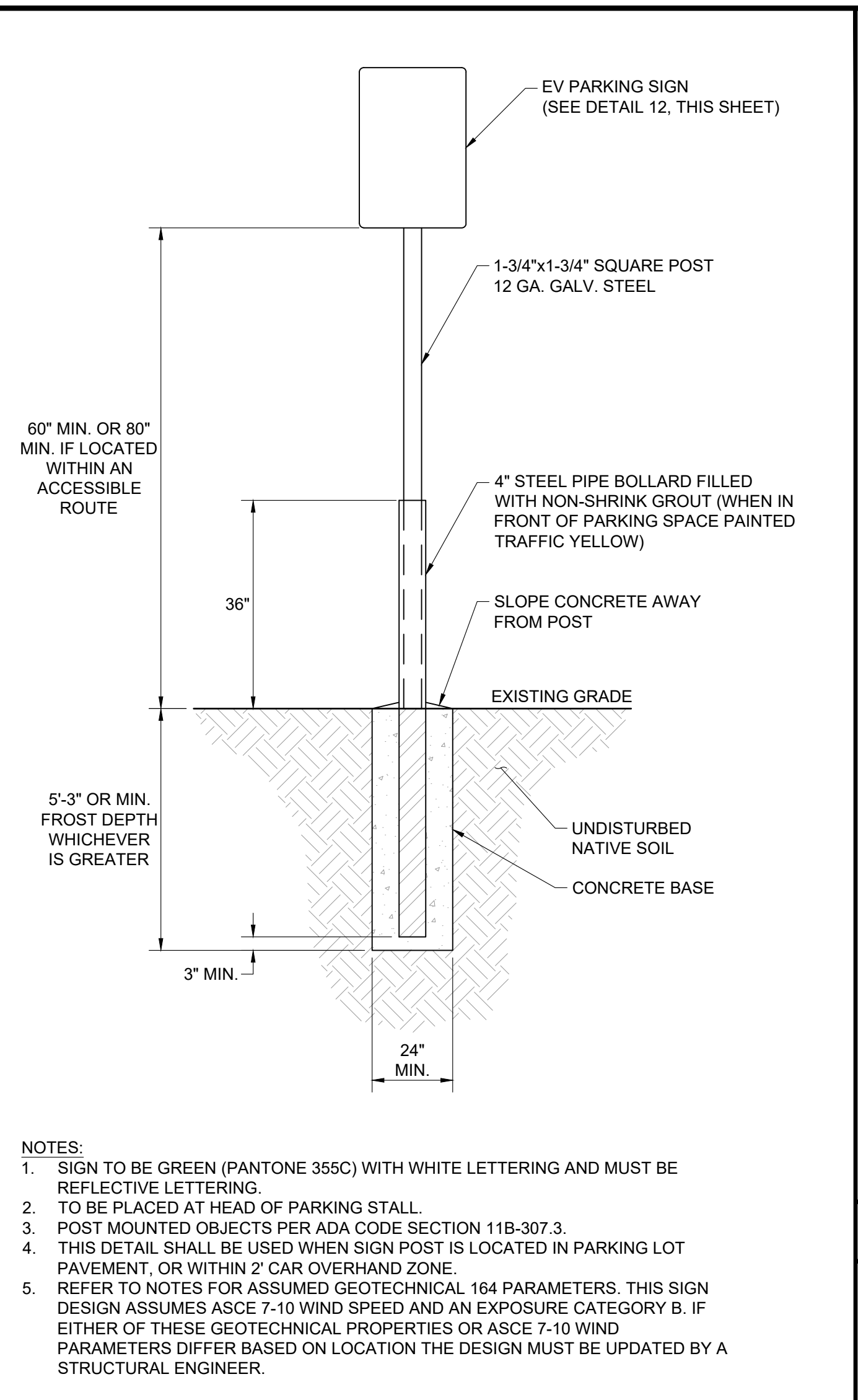
NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES

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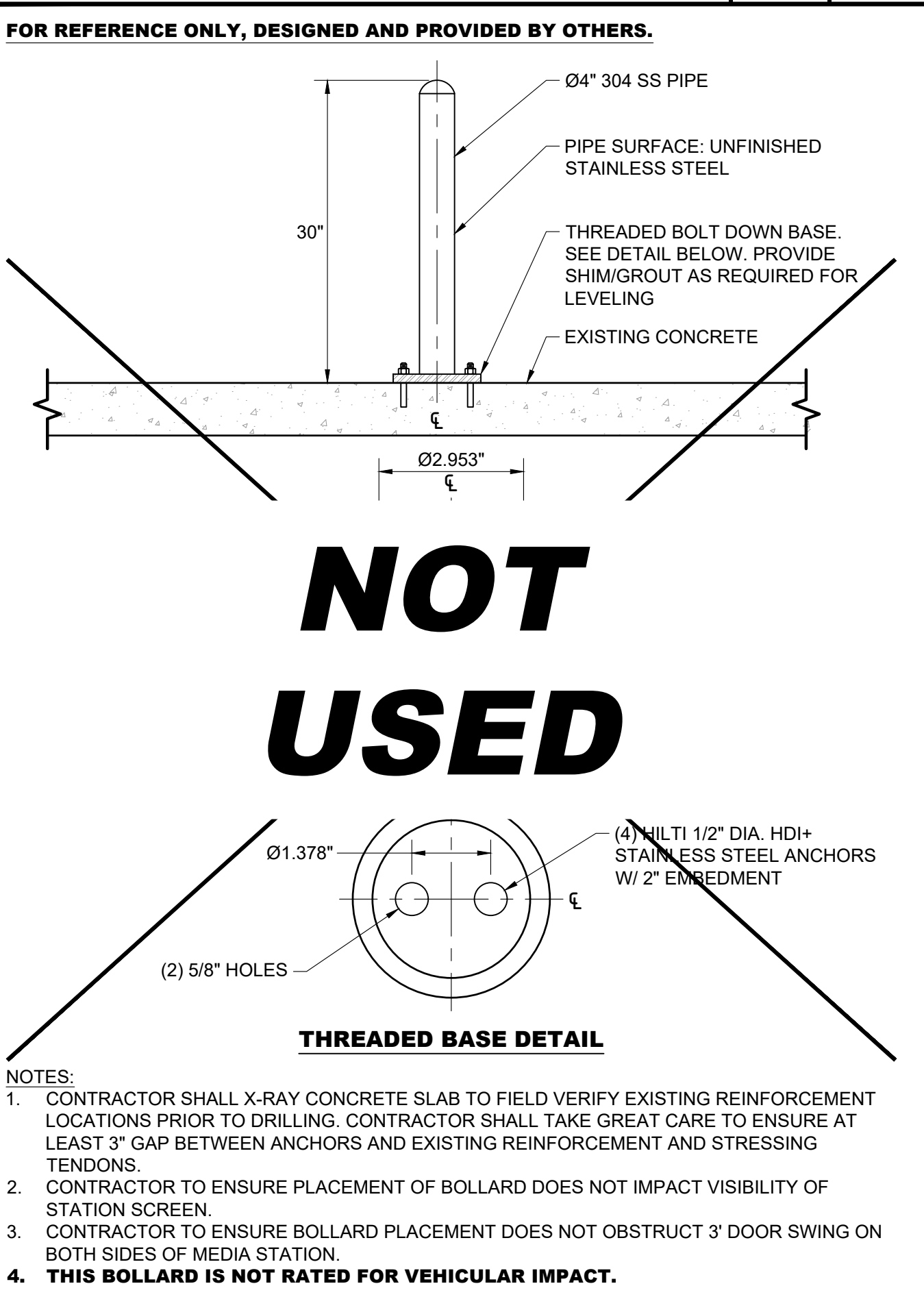
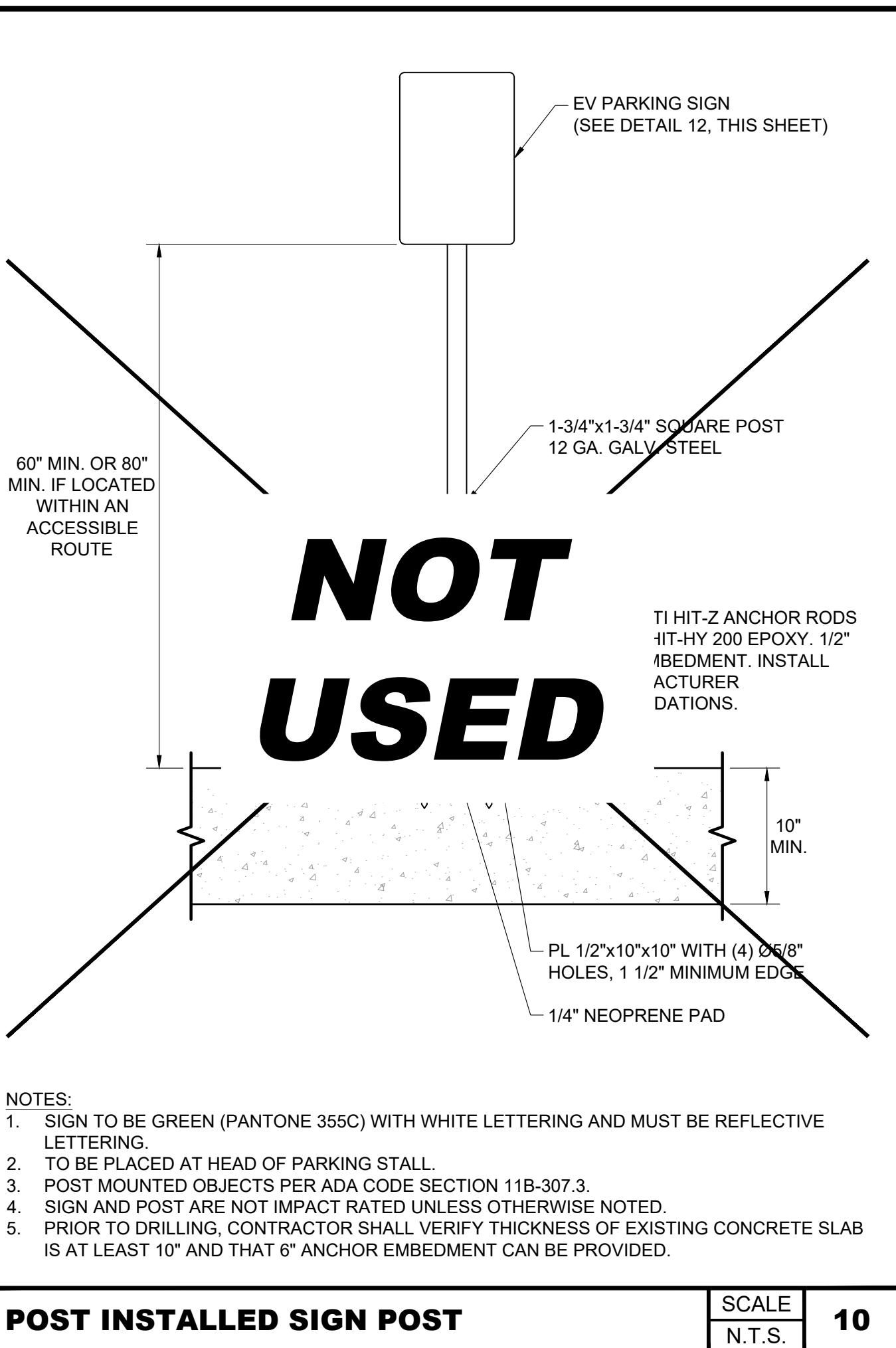


SCALE	8
N.T.S.	
SIGN POST	
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	NO TIME LIMIT SIGN STADIUMS, OTHER VENUES, ECT.
	45 MIN. TIME LIMIT SIGN FAST FOOD RESTAURANTS, ECT.
	1 HR. TIME LIMIT SIGN DRUG STORES OR SIMILAR QUICK CONVENIENCE STORES
	2 HR. TIME LIMIT SIGN GROCERY STORES, MALLS, ECT.
	3 HR. TIME LIMIT SIGN MOVIE THEATERS, ENTERTAINMENT CENTERS, ECT.
	30 MIN. TIME LIMIT SIGN DCFC STALLS
SIGN INSTALLATION TYPE: CONTRACTOR SHALL COORDINATE WITH VOLTA TO DETERMINE EVCS SIGN TYPE PRIOR TO INSTALLATION.	
SIGN INSTALLATION HEIGHT: ALL SIGNS TO BE INSTALLED AT 60" ABOVE FINISH FLOOR. IF SIGNS ARE LOCATED WITHIN AN ACCESSIBLE ROUTE, THEY WILL BE INSTALLED AT 80" ABOVE FINISHED FLOOR. MEASUREMENTS ARE TAKEN FROM BOTTOM OF LOWEST SIGN.	

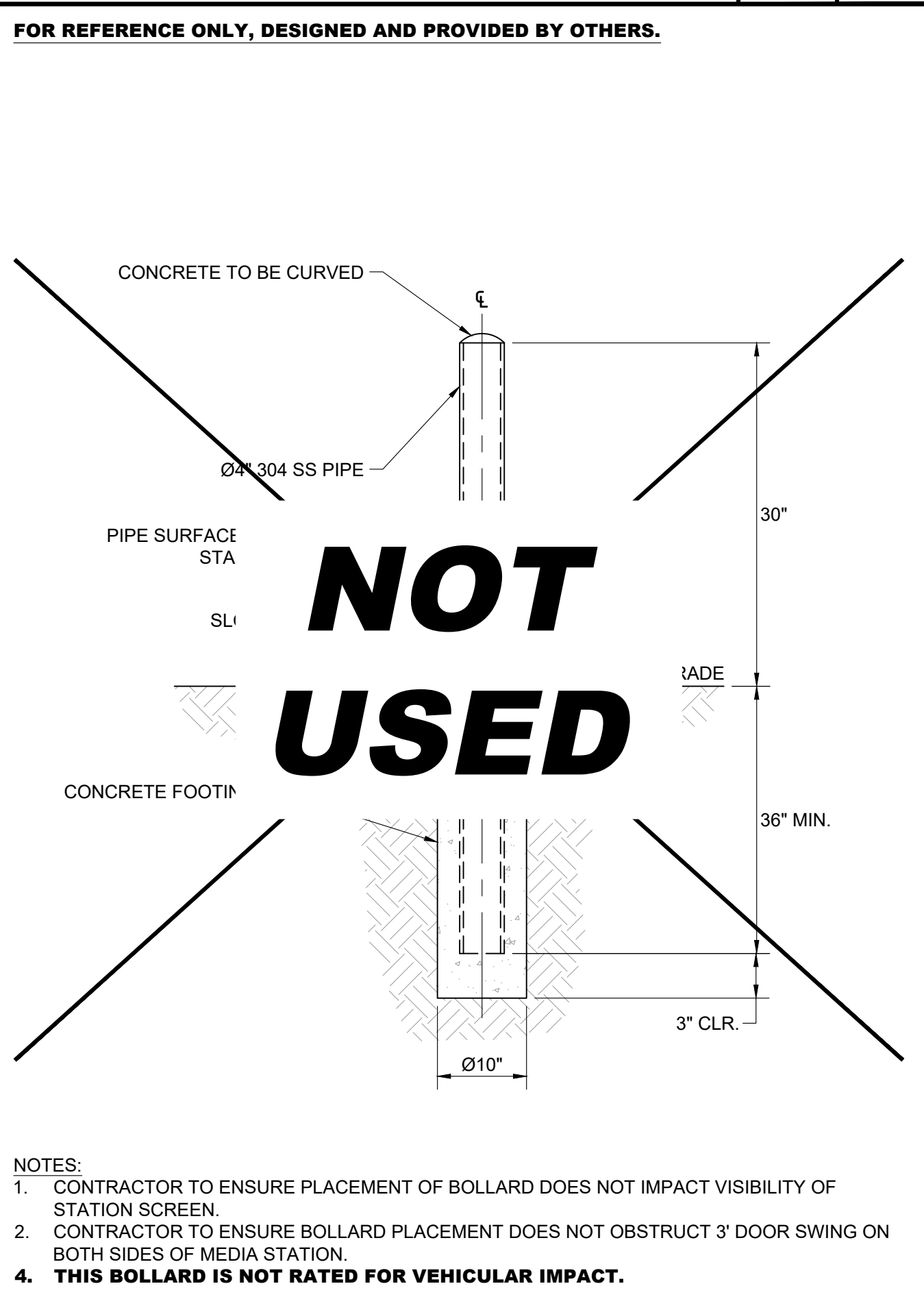
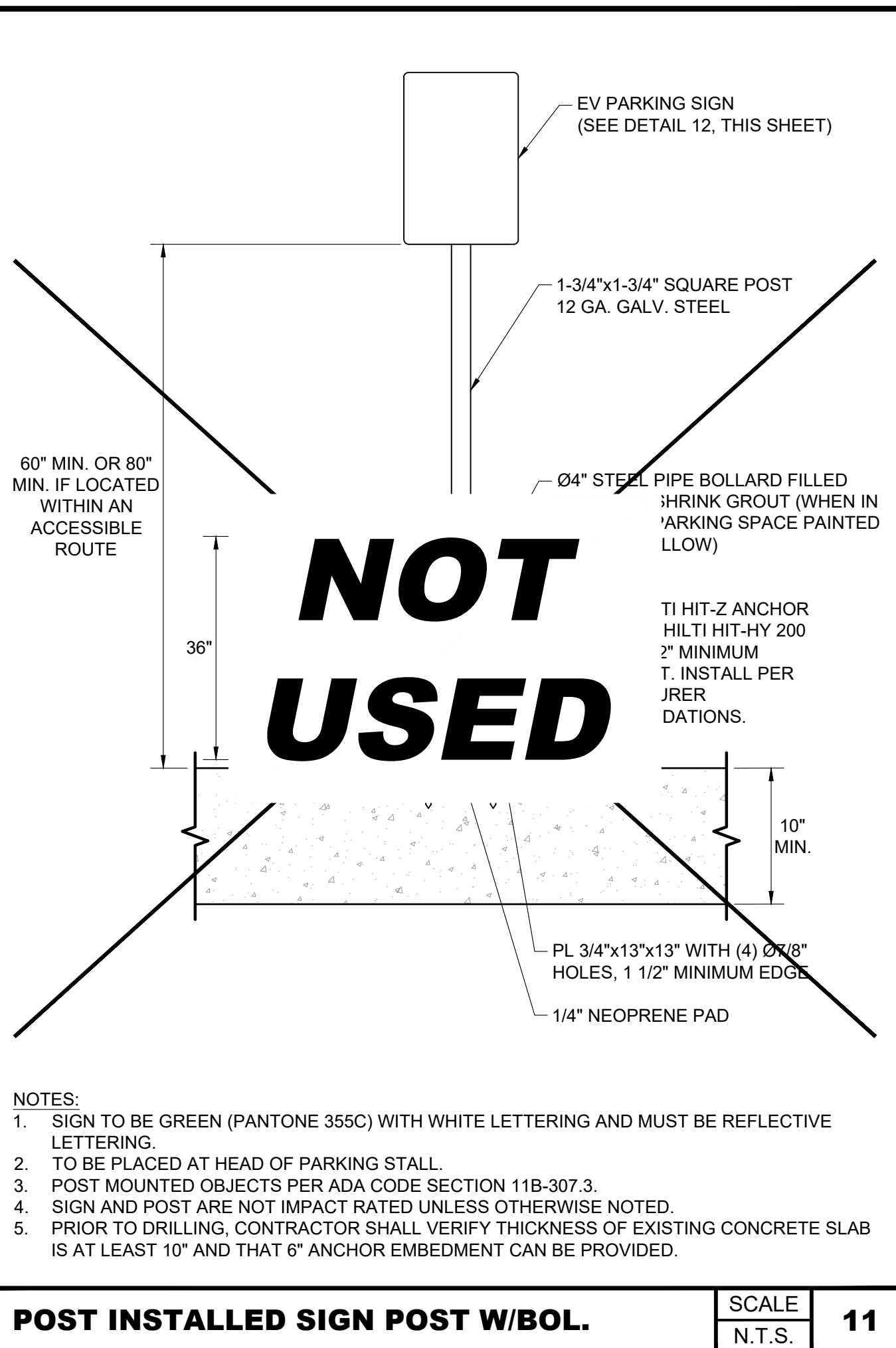
SCALE	12
N.T.S.	
SIGN REQUIREMENTS	



SCALE	13
N.T.S.	
IMPACT DETERRENT BOL. W/ BASE PLATE	



SCALE	14
N.T.S.	
IMPACT DETERRENT BOL. W/ THRD BASE	



SCALE	15
N.T.S.	
IMPACT DETERRENT BOLLARD	

VOLTA

155 DE HARO STREET
SAN FRANCISCO, CA 94103

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STOP & SHOP #2604 TORRINGTON

931 TORRINGTON STREET TORRINGTON, CT 06790

SHEET TITLE
SITE DETAILS

SHEET NUMBER
C3-01

FOR REFERENCE ONLY, DESIGNED AND PROVIDED BY OTHERS.

FRONT **SIDE** (2x DISPLAYS) **BACK**

CHARGER SPECIFICATIONS:
 SIZE: H 85.0" x W 36.5" x D 15.5"
 CORD LENGTH: 15'
 POWER TYPE: 208/240VAC, 48A (MAX), 10 kW MAX.
 PLUG: SAE J1772 COMPLIANT CONNECTOR
 LISTINGS: UL E354307

POWER REQUIREMENTS:
 CHARGING UNIT: 60A/2P 208/240V BREAKER
 STATION AUX POWER: 20A/1P 120V BREAKER

NOTES:
 1. THE GRIP RANGE FOR THE CHARGE CABLE BEGINS AT 38.5" ABOVE PARKING SURFACE.
 2. SEE DETAILS 17 & 19, THIS SHEET FOR MORE INFORMATION.

PLAN

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NOTE:
 1. REFER TO DETAIL 18 FOR BASE PLATE ANCHORAGE.

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CHARGING STATION BASE PLAN VIEW

CHARGING STATION BASE PLATE PLAN VIEW

NOTES:
 1. CONTRACTOR TO VERIFY POST INSTALLATION OR CAST IN PLACE ANCHOR AS LISTED BELOW BASED ON FIELD MEASUREMENTS AND JURISDICTIONAL REQUIREMENTS.
 2. CONTRACTOR TO VERIFY EXISTING CONCRETE SLAB THICKNESS AND MAINTAIN 2" MINIMUM COVER OF CONCRETE BELOW EMBEDDED ANCHORS.
 3. REFER TO DETAIL #17 FOR BASE PLATE DIMENSIONS.

CAST IN PLACE ANCHOR:
 MINIMUM EFFECTIVE EMBEDMENT OF 2" OR ENGINEER APPROVED EQUAL.

POST INSTALLATION MECHANICAL ANCHOR:
 (4) 5/8" DIAMETER HILTI KWIK BOLT TZ-SS304 ANCHOR ROD WITH MINIMUM EFFECTIVE EMBEDMENT OF 3-1/4" OR ENGINEERING APPROVED EQUAL.

VOLTA V4 L2 EVCS SCALE N.T.S. **16**

VOLTA V4 BASE PLATE SCALE N.T.S. **17**

VOLTA BASE PLATE ANCHORAGE SCALE N.T.S. **18**

VOLTA

155 DE HARO STREET
SAN FRANCISCO, CA 94103

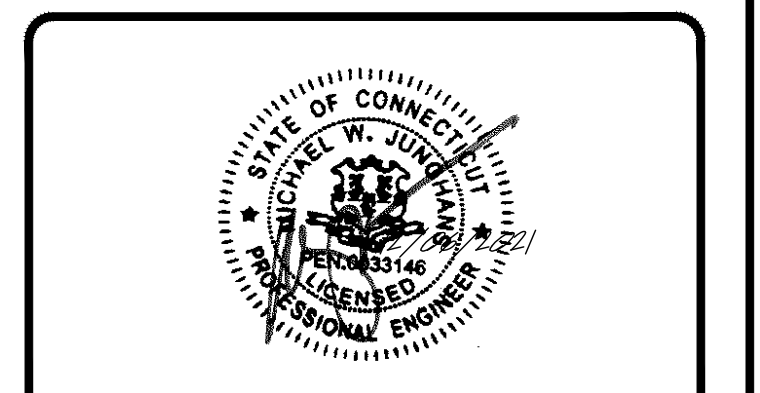
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STOP & SHOP #2604 TORRINGTON
931 TORRINGTON STREET
TORRINGTON, CT 06790

SHEET TITLE
SITE DETAILS

SHEET NUMBER
C3-02

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Level 2 Media Station

Volta Charging is driving the transition to clean electric transportation by transforming properties with electric vehicle charging. No longer will people drive to fuel, but fuel where they drive.

Volta's turn-key electric vehicle charging is tailored to each location's needs and desired customer experience to increase traffic and customer engagement. Our fully integrated EV chargers include high-impact digital media screens that provide properties with branding and messaging as well as additional revenue opportunities.

Charger Specs

- Output power: 10 kW max (AC)
- Safety certification: UL 2202

Power Requirements

- Input voltage: 208 - 240 VAC
- Output voltage: 208 - 240 VAC
- Circuit size: 60A/2P, 208/240 breaker
- Network connectivity: Cell connection or LAN access

Display Screen Specs

- Size: 55" outdoor LED back light system x2
- Picture: Full HD 1080p resolution
- Power requirements: 20A/1P, 120V breaker
- File type: JPEG or PNG

Installation Requirements

- Foundation req: 36"L x 36"W x 36"D
- Conduit diameter: 1.5" min per station approx*
- *Separate conduit for communication may be required

Example Level 2 Media Foundation Plans

voltacharging.com 770-0002-A

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eMOBILITY SOLUTIONS

eClick Data sheet

General and electrical specifications

Specification	eClick
Charging power	up to 10.4kW / 12kW (up to 50A)
Mains input power	208 Volt AC WYE system, 50A, 10.4kW 240 Volt AC split phase, 50A, 12kW 240 Volt AC Center Tap Delta, 50A, 12kW
Output power to eBox	208 Volt AC WYE system, 50A, 10.4kW 240 Volt AC split phase, 50A, 12kW 240 Volt AC Center Tap Delta, 50A, 12kW maximum output depends on local distribution grid
Storage temperature	-22°F to +176°F (-30°C to +80°C)
IP	I
Max line cross section	Max supply line (top or bottom entry): AWG (10 mm²)
Certifications	UL and FCC (tested and confirmed by a certified body)
Packaging dimensions (W x D x H)	1'-8 1/4" x 8'-4 1/2" x 3'-0 1/2" (315 mm x 225 mm x 75 mm)

Recommended additional accessories

Accessory	eClick
Short circuit / overload protection	Circuit breaker required according to national law and regulations
Installed in sub-distribution per charge port	Electrical installer to choose correct circuit breaker depending on grid type and power.

Broadband TelCom Power, Inc.
1719 S. Grand Ave.
Santa Ana, CA 92705, USA
sales@btcpower.com
www.btcpower.com

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eMOBILITY SOLUTIONS

eBox professional Data sheet

General and electrical specifications

Specification	eBox professional
Charging power	up to 10.4kW (WYE) / up to 12kW (split phase/center tap delta) (up to 50A)
Applications	Protected internal areas; unprotected exterior areas exposed to rain and direct sunlight
Enclosure Rating	Type 3S
Operating temperature	-22°F to 122°F (-30°C to +50°C) full load
Storage temperature	-22°F to +176°F (-30°C to +80°C)
Air humidity	5% to 95% as defined under IEC 61851-1 Ed.3/EN 61851-1 (2017)
Max altitude above sea level	Max 6,500 ft (2,000 m) (air pressure: 860 hPa to 1,050 hPa)
UV protection	Outdoors (BT)
Housing material	Lexan® EXL9330 (copolymer) Flame class rating V0 (UL94)
Protection category (impact strength)	IK10 as defined under IEC 62262-2:2002
Weight (without eClick)	6.4kg
Number of charging ports	1
Plug assembly	Type 1 plug as defined under SAE J1772™, plug compartments on eBox, shutter
Cable length	24'-7 1/4" (7.5m)
Backend protocol	eOperate using I2C2WAN for business applications and eHome using OCPP 2.0 for residential applications
Input power from eClick	up to 10.4kW (WYE) / up to 12kW (split phase / center tap delta) (up to 50A)
Output power	up to 10.4kW (WYE) / up to 12kW (split phase / center tap delta) (up to 50A)
Electrical Protection Class	I
Standby power	6W
Charging mode	Mode 3 (IEC 61851)
Vehicle communication	Charging current controlled via PWM pilot signal (IEC 61851-1:2017)
Alternative vehicle communication	ISO 15118 ready via PLC
User protection: integrated	Integrated AC/DC sensitive GFCI, tripping at: 20 mA rms for AC and for DC according to UL2231 (ESD/Surge/Burst)
Interaction	LED ring for charging status; 2 status LEDs: authentication / RFID, vehicle ID; 1 status LED as touch button: Bluetooth
Measured consumption	Current and voltage measured by eBox, power and energy provided with 99% accuracy
Direct communication	Bluetooth Class 1 and 2 (power level)
Backend link	eHome (eCharge+ app): WLAN with 2.4 GHz b/g/n with WPA2 (saerl gain, frequency-dependent, max 4.6 dB) or LAN or eOperate: SIM-card (frequency- and direction-dependent, max 4.4 dB (saerl gain))
Authentication / activation	Free charging: eCharge+ app (smartphone app for iOS / Android™) from contracted providers or Direct Payment (credit card / PayPal), Direct Payment via web access
Plug&Charge (ISO 15118)	Yes
RFID authentication	Yes, protocols: MIFARE Classic (card and chip) as defined under ISO 14443A, Type V (ISO/IEC 15693/Vicinity)
Charging port number	Charge port number lasered on shutter

Remark: Android is a trademark of Google LLC.

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eMOBILITY SOLUTIONS

eBox professional Data sheet

NOT USED

The eBox professional is a modern, leading-edge charging solution for electric vehicles. It can be used easily and quickly for charging up to 12kW of power. It presents a large number of ports and authentication options. The eBoxes can be mounted in the eClick on a wall. The eBox professional is available with a Type 1 plug and cable.

Key features

- Charging (up to 12 kW)
- Charging status displayed by 3 LEDs and LED ring
- Facilities for authenticating and paying for charging processes by app, RFID card or ISO 15118
- LTE / 3G / 2G communication with eOperate or WLAN, LAN with eCharge+ app
- Commissioning: simply clicking the eBox on the eClick and connect via Bluetooth with the smartphone

Certificates

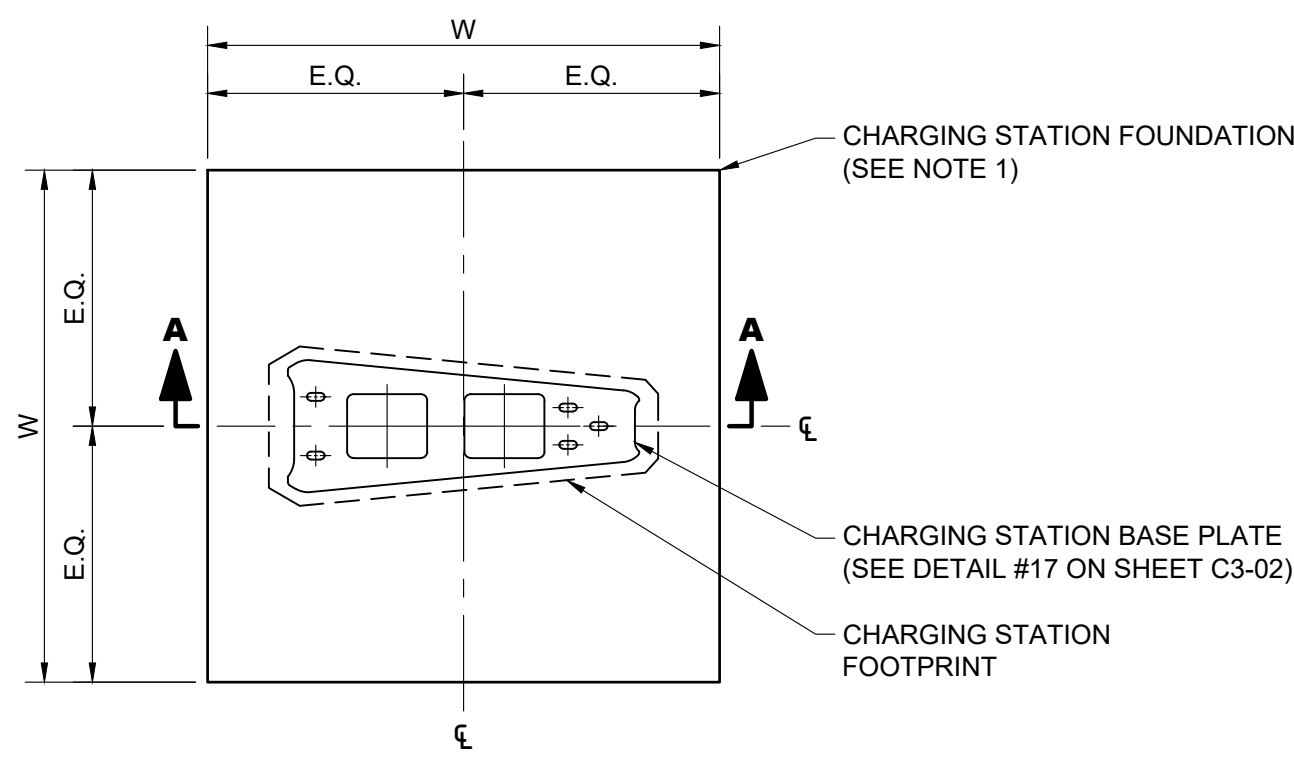
VOLTA V4 EVCS CUT SHEET SCALE N.T.S. **19**

ECLICK DATA CUT SHEET SCALE N.T.S. **20**

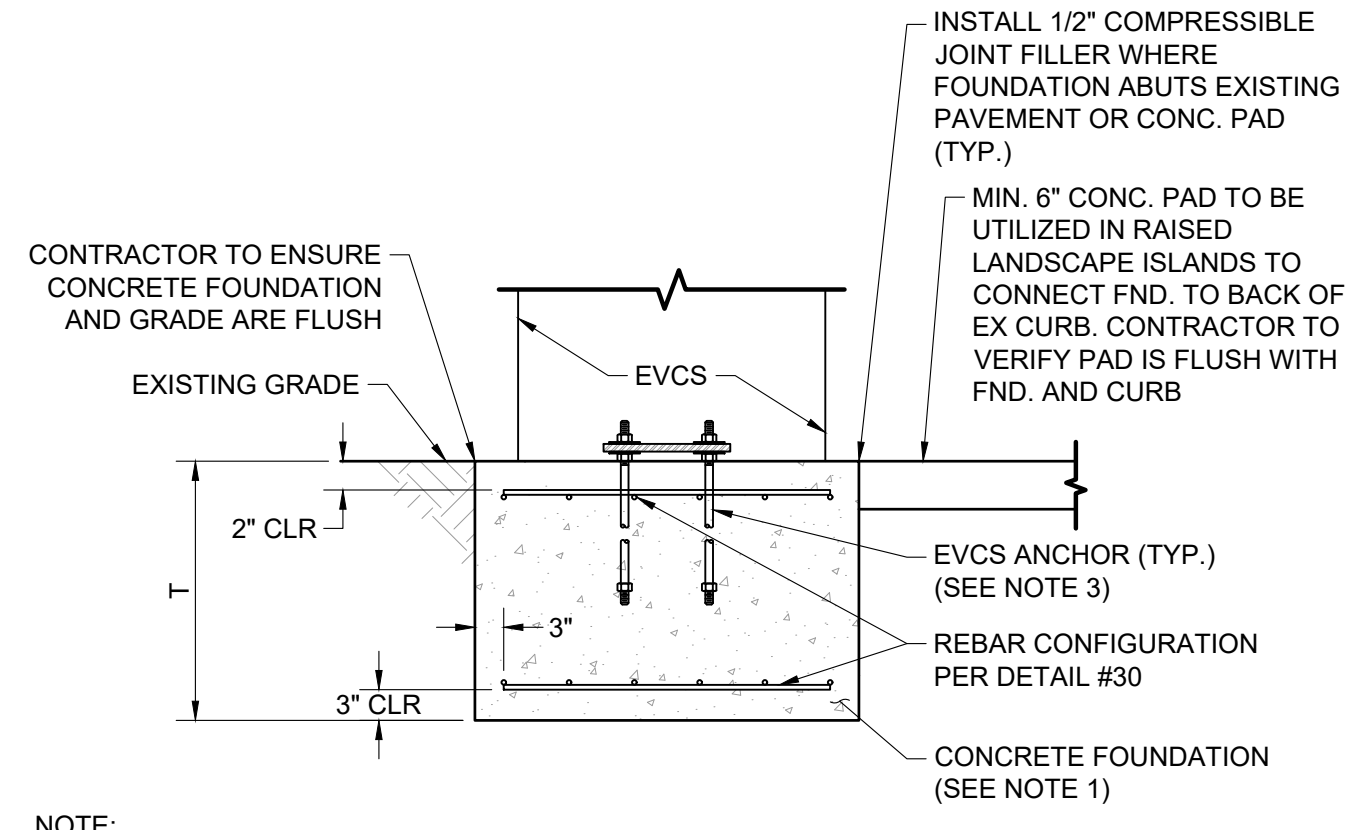
EBOX DATA CUT SHEET SCALE N.T.S. **21**

EBOX DATA CUT SHEET SCALE N.T.S. **22**

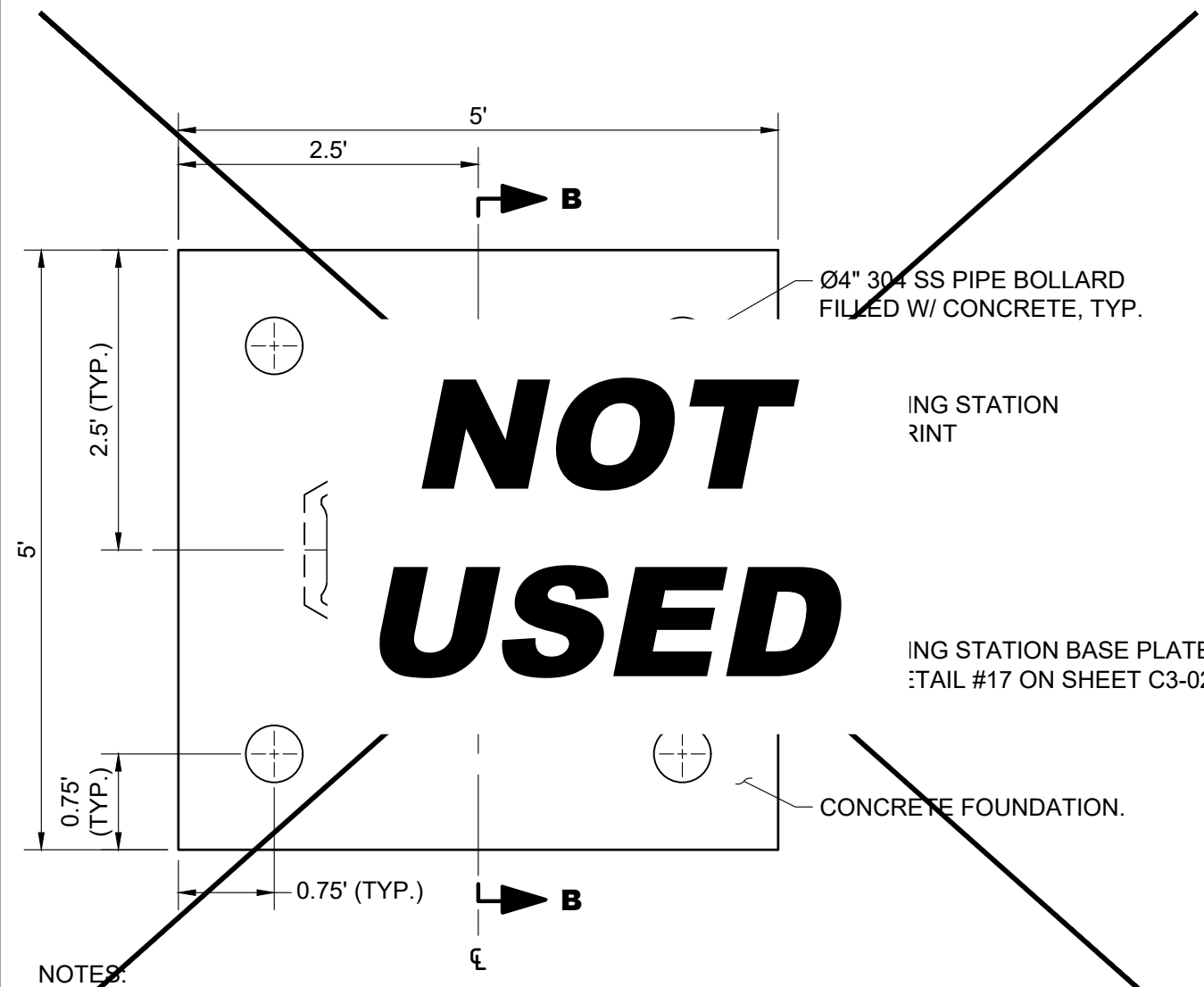
NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES



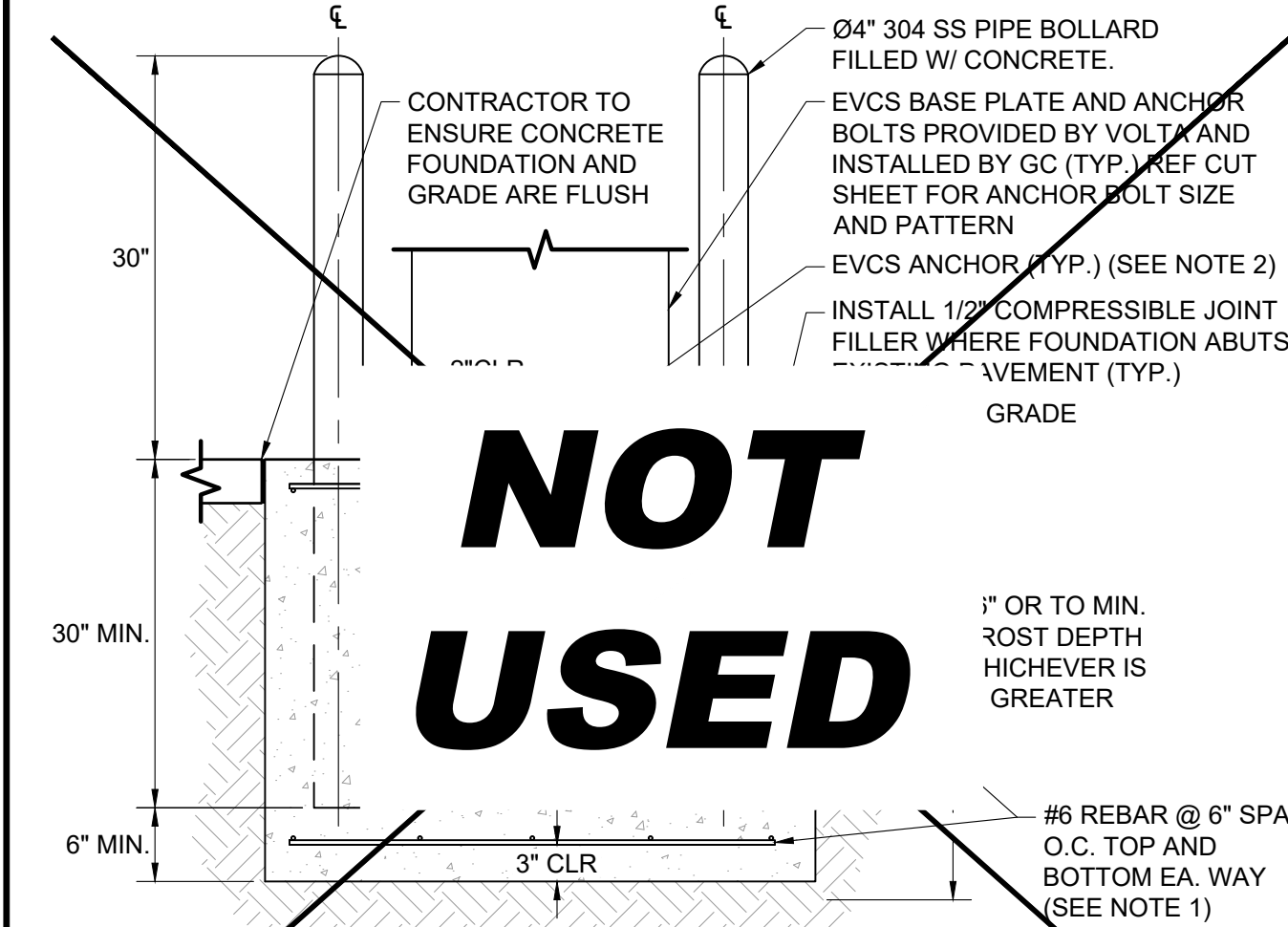
NOTES:
 1. SEE DETAIL #30 - FOR FOUNDATION VARIABLES.
 2. SEE DETAIL #24 - FOR PARKING LOT INSTALLATIONS.
 3. SEE DETAIL #29 - FOR PARKING GARAGE INSTALLATIONS.
 4. CHARGING STATION FOUNDATION TO EXTEND FROM BACK OF CURB TO BACK OF CURB WHEN PLACED IN LANDSCAPE ISLAND.



NOTE:
 1. SEE DETAIL #30 - FOR FOUNDATION VARIABLES.
 2. EXISTING GRADE AROUND EVCS'S INSTALLED IN ISLANDS CAN BE GRASS OR FILLED WITH REINFORCED CONCRETE AT #4 @ 12" O.C. PROVIDE 1/2" COMPRESSIBLE JOINT FILLER AND POURED SEPARATELY.
 3. KHA IS NOT RESPONSIBLE FOR THE DESIGN OF EQUIPMENT OR ANCHORAGE TO THE FOUNDATION. ANCHORAGE SHALL BE PROVIDED BY THE EQUIPMENT MANUFACTURER AND ARE ASSUMED TO BE CAST-IN-PLACE PER MANUFACTURER RECOMMENDATIONS. IF REQUIRED, POST-INSTALLED ANCHORAGE MAY BE IMPLEMENTED PER DETAIL 29.



NOTES:
 1. SEE DETAIL #26 - FOR PARKING LOT INSTALLATIONS.
 2. SEE DETAIL #29 - FOR PARKING GARAGE INSTALLATIONS.



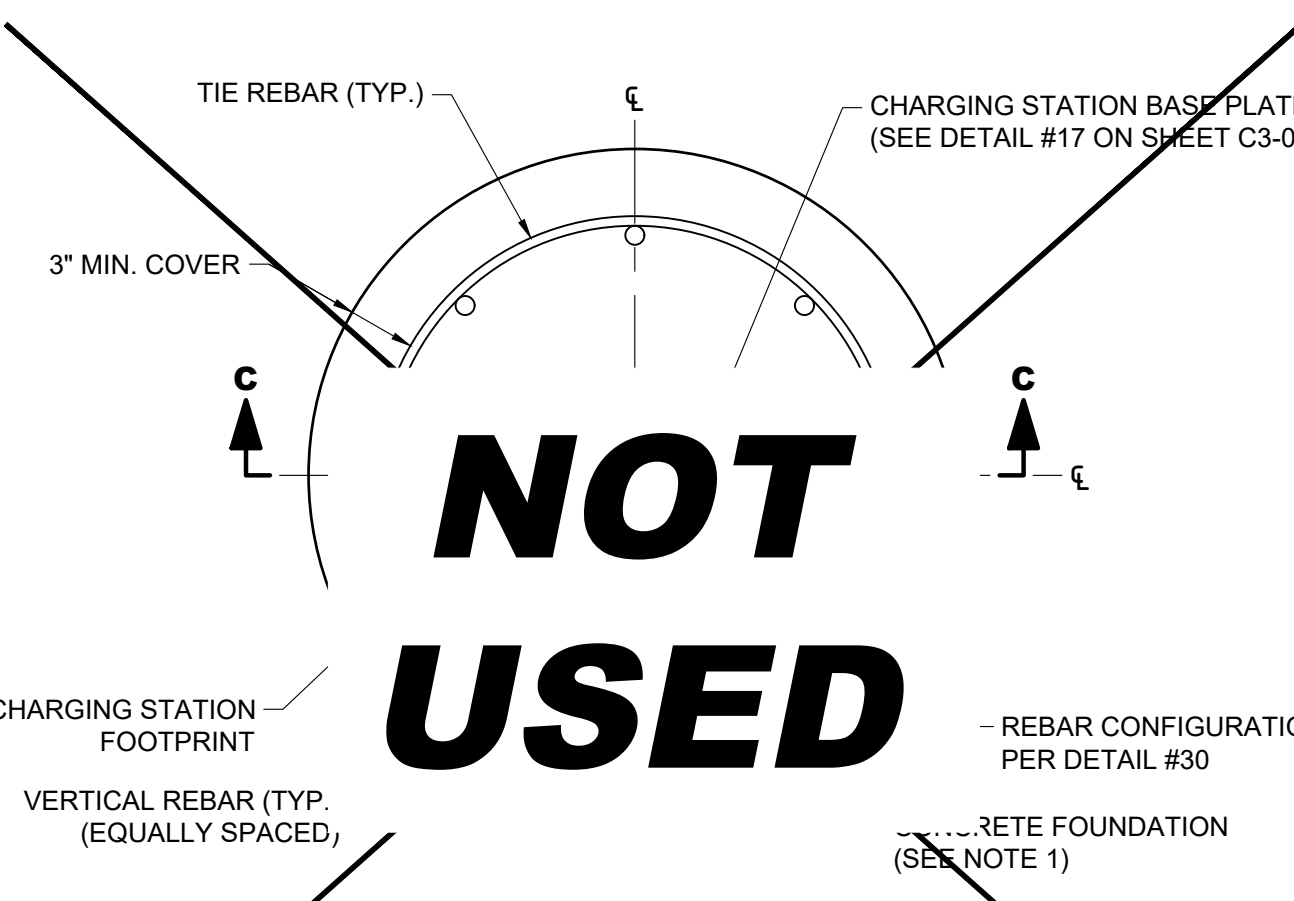
NOTES:
 1. HORIZONTAL REBAR SHALL BE #6 FOR FOUNDATION THICKNESSES UP TO 36". REBAR SHALL BE #8 FOR PAD THICKNESSES EXCEEDING 36".
 2. KHA IS NOT RESPONSIBLE FOR THE DESIGN OF EQUIPMENT OR ANCHORAGE TO THE FOUNDATION. ANCHORAGE SHALL BE PROVIDED BY THE EQUIPMENT MANUFACTURER AND ARE ASSUMED TO BE CAST-IN-PLACE PER MANUFACTURER RECOMMENDATIONS. IF REQUIRED, POST-INSTALLED ANCHORAGE MAY BE IMPLEMENTED PER DETAIL 29.

V4 EVCS FOUNDATION SCALE N.T.S. 23

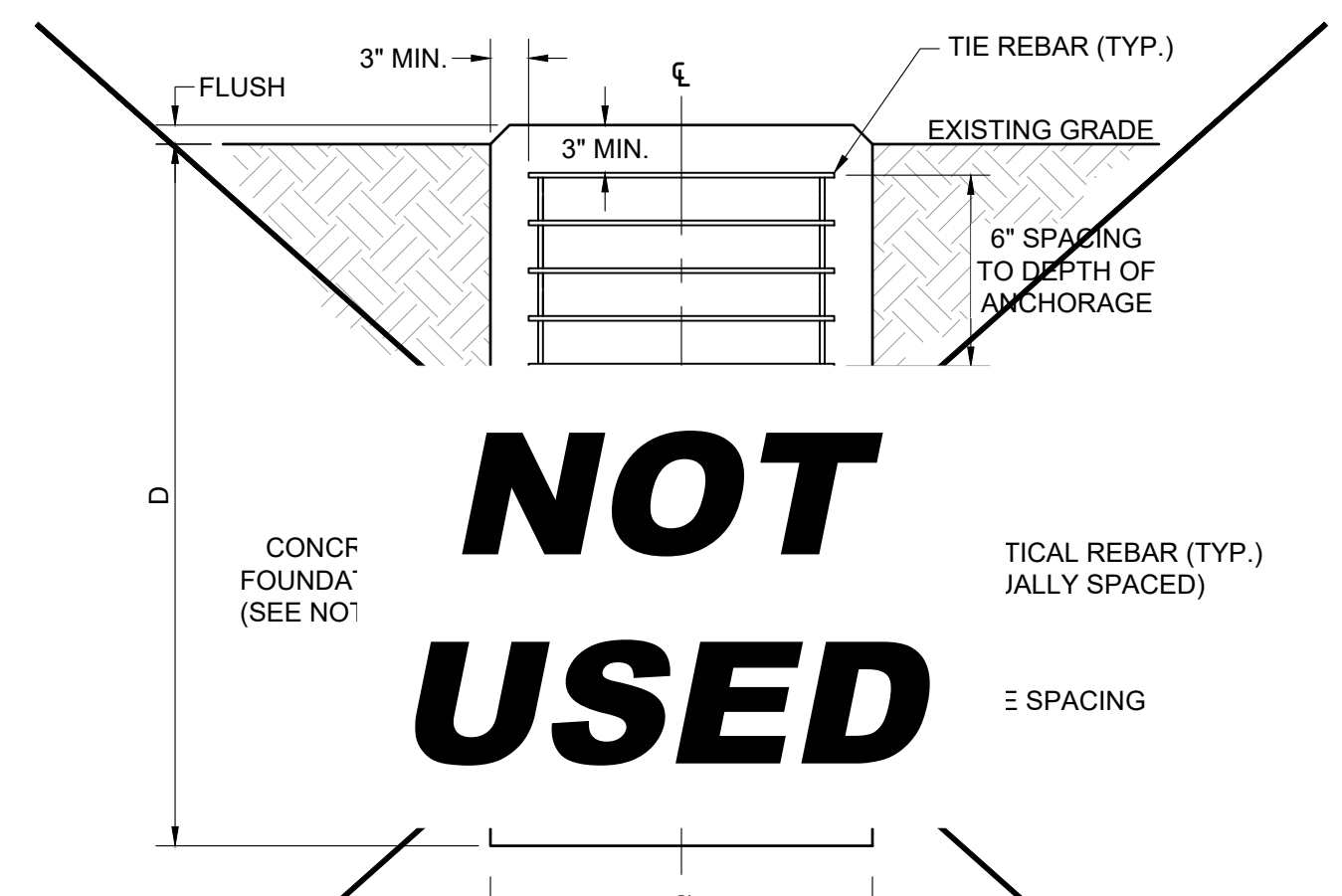
V4 EVCS FOUNDATION SECTION A-A SCALE N.T.S. 24

EVCS FOUNDATION W/ 4" PIPE BOL. SCALE N.T.S. 25

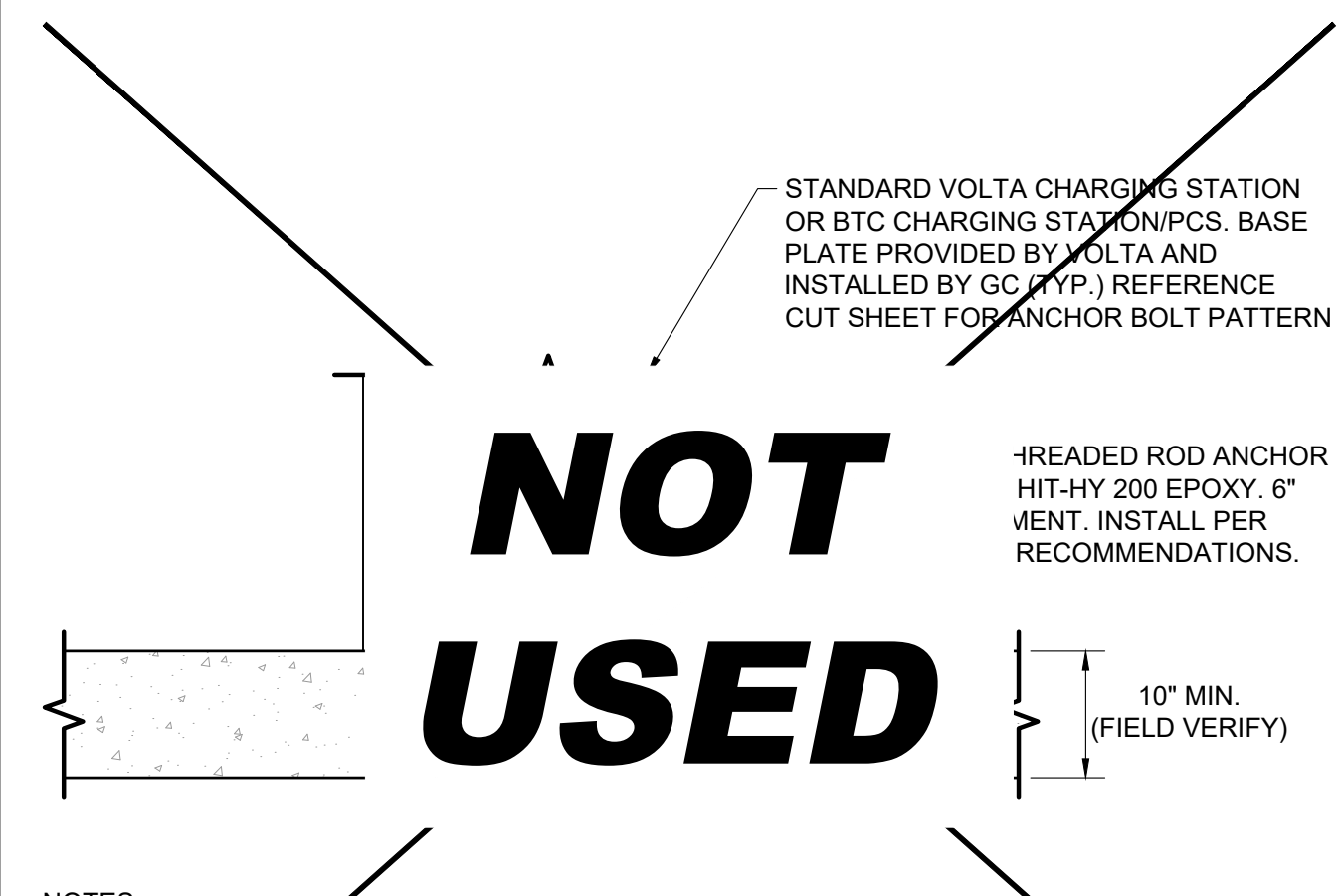
EVCS FOUNDATION SECTION B-B SCALE N.T.S. 26



NOTES:
 1. SEE DETAIL #30 - FOR FOUNDATION VARIABLES.
 2. SEE DETAIL #23 & #25 - FOR PARKING LOT INSTALLATIONS.
 3. SEE DETAIL #29 - FOR PARKING GARAGE INSTALLATIONS.
 4. CHARGING STATION FOUNDATION TO EXTEND FROM BACK OF CURB TO BACK OF CURB WHEN PLACED IN LANDSCAPE ISLAND.



NOTES:
 1. SEE DETAIL #30 - FOR FOUNDATION VARIABLES.
 2. SEE DETAIL #23 & #25 - FOR PARKING LOT INSTALLATIONS.
 3. SEE DETAIL #29 - FOR PARKING GARAGE INSTALLATIONS.
 4. CHARGING STATION FOUNDATION TO EXTEND FROM BACK OF CURB TO BACK OF CURB WHEN PLACED IN LANDSCAPE ISLAND.



NOTES:
 1. CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS WHEN DRILLING INTO EXISTING CIP SLAB AND CIP DROP PANELS TO AVOID DAMAGE TO ANY REINFORCING AND EXISTING STRUCTURAL COMPONENTS.
 2. USE APPROVED ASTM METHOD (X-RAY, PACOMETER, GPR, ETC.) TO LOCATE MILD STEEL AND PRE-STRESSING TENDONS PRIOR TO DRILLING. DO NOT CUT OR DRILL THROUGH ANY EXISTING REINFORCING. ADJUST LOCATION AS NECESSARY TO AVOID EXISTING REINFORCING.
 3. REFER TO CIVIL PLANS FOR CHARGER LOCATION.

L2 EVCS PAD FOUNDATIONS					
CONFIGURATION	WIDTH (W)	THICKNESS (T)	REBAR LAYERS	REBAR SIZE	REBAR QTY. (PER LAYER)
6	3.00	2.00	2	#4	4

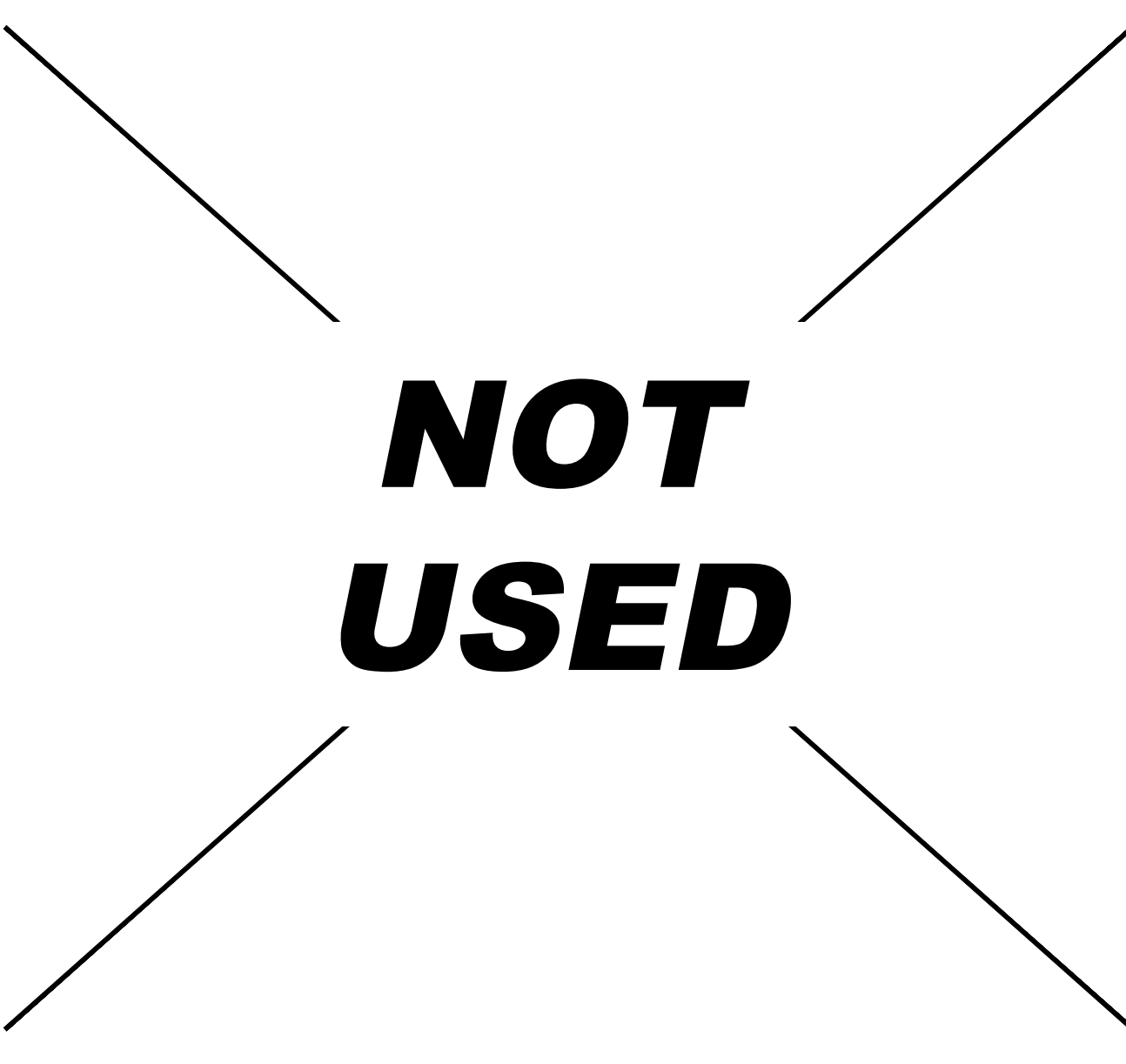
NOTES:
 1. FOUNDATION WAS DESIGNED IN ACCORDANCE WITH 2018 INTERNATIONAL BUILDING CODE (IBC), ASCE 7-16, AND ACI 318-14.
 2. PRESUMPTIVE SOILS WERE ASSUMED PER 2018 IBC TABLE 1806.2.
 3. FOUNDATION SHALL BE INSTALLED ON COMPACTED SUBGRADE WITH A MINIMUM OF 6" COMPACTED STONE BASE (UNLESS OTHERWISE SPECIFIED).
 4. VOLTA V4 ELECTRIC VEHICLE CHARGING STATION (EVCS) MAY BE ROTATED AS NEEDED ON PROPOSED FOUNDATION BLOCK.
 5. ALL EQUIPMENT ANCHORAGE MAY BE CAST-IN-PLACE OR POST-INSTALLED. ANCHORAGE SHALL BE INSTALLED PER MANUFACTURER SPECIFICATIONS.

DRILLED SHAFT FOUNDATION SCALE N.T.S. 27

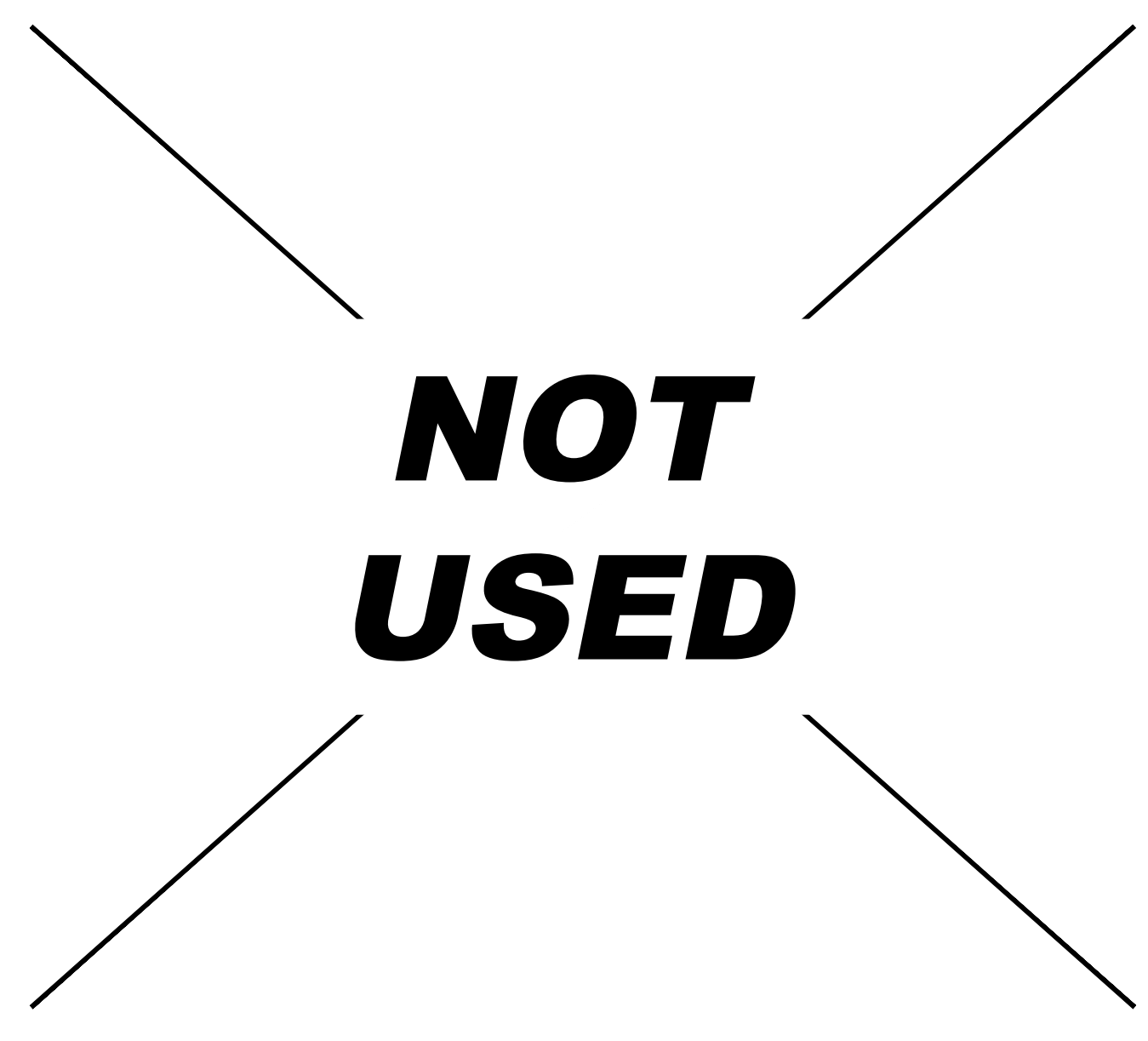
DRILLED SHAFT FOUNDATION SECTION C-C SCALE N.T.S. 28

POST INSTALLED ANCHORAGE SCALE N.T.S. 29

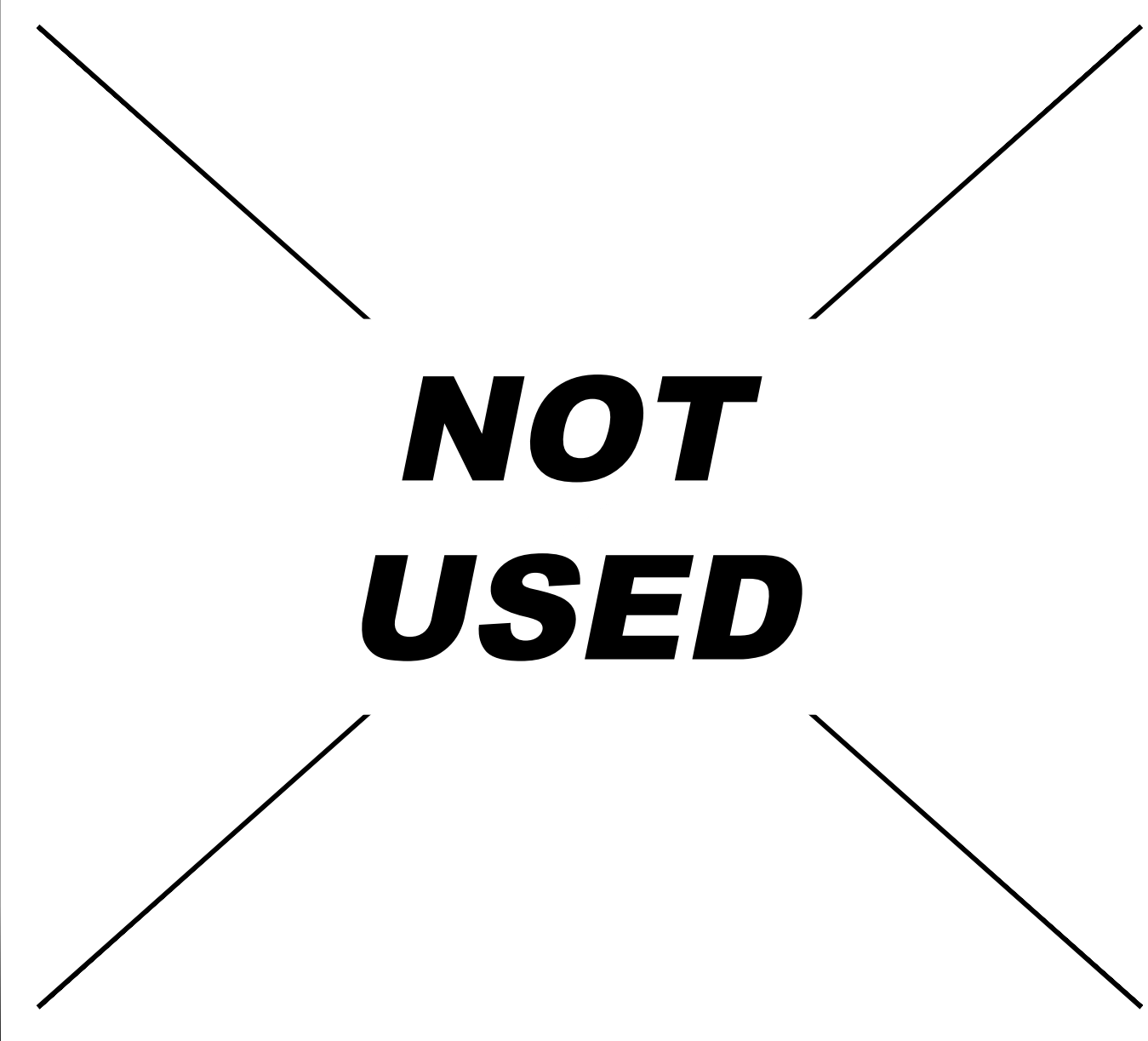
L2 EVCS VARIABLE FOUNDATIONS TABLE SCALE N.T.S. 30



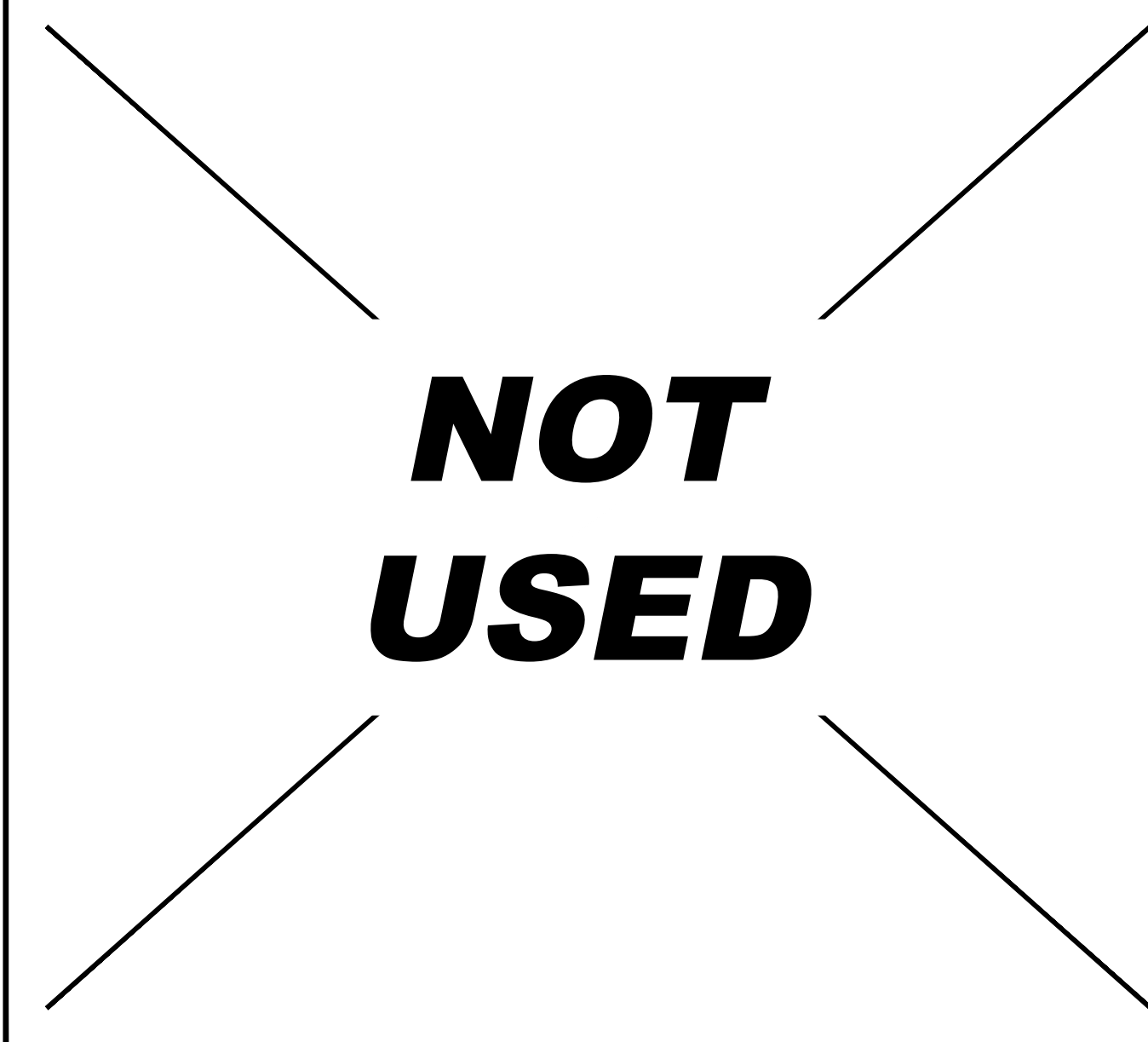
NOT USED SCALE N.T.S. 31



NOT USED SCALE N.T.S. 32



NOT USED SCALE N.T.S. 33



NOT USED SCALE N.T.S. 34

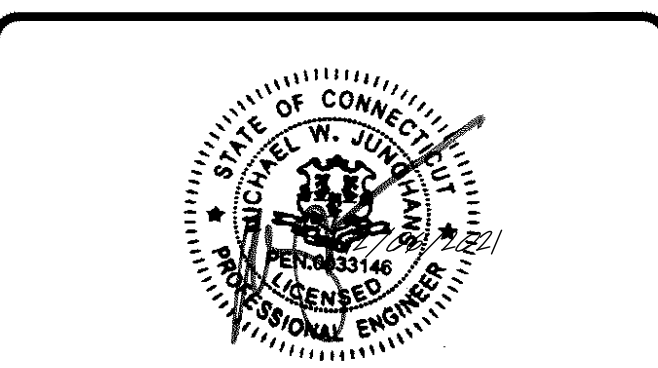
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 1 N LEXINGTON AVE, SUITE 505
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3	07/21/2021	CD100s - REVISION	TAS
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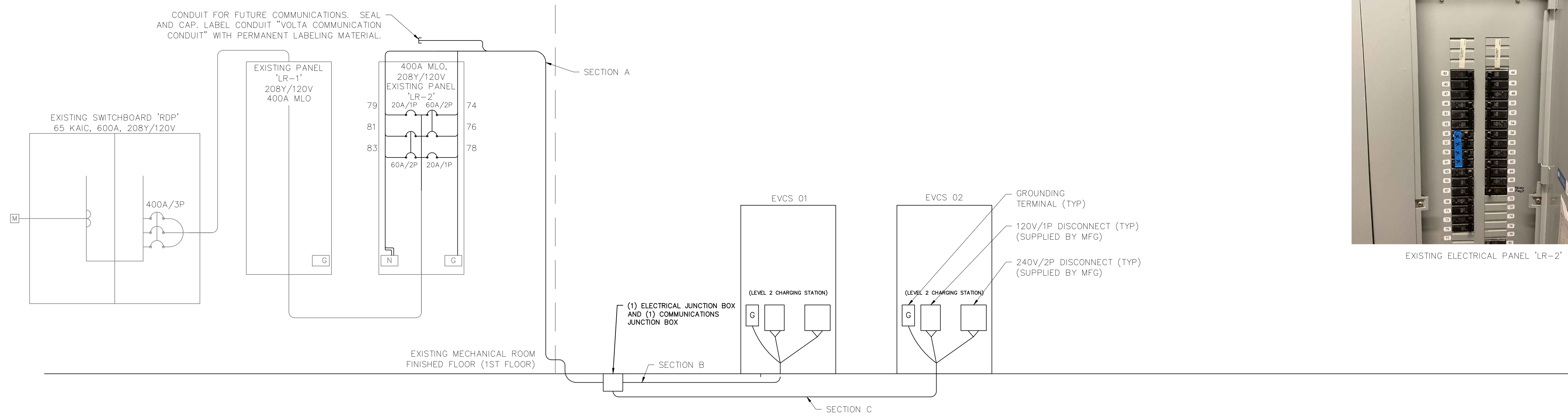
STOP & SHOP #2604 TORRINGTON
 931 TORRINGTON STREET
 TORRINGTON, CT 06790

SHEET TITLE
SITE DETAILS

SHEET NUMBER
C3-03

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES.

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES



NOTES:

- ALL ELECTRICAL WORK AND RELATED ACTIVITIES PERFORMED ON SITE SHALL BE DONE IN ACCORDANCE WITH NATIONAL ELECTRICAL CODE (NEC) STANDARDS BEING ENFORCED BY ALL APPLICABLE JURISDICTIONAL REQUIREMENTS AT THE TIME OF CONSTRUCTION.
- ANY PAVEMENT DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR TO PRE-CONSTRUCTION CONDITIONS OR BETTER.
- CONTRACTOR SHALL USE THWN COPPER CONDUCTORS.
- CONTRACTOR SHALL USE EMT INSIDE AND OUTSIDE ABOVE GRADE WHERE NOT SUBJECT TO DAMAGE. CONTRACTOR SHALL RGS INSIDE AND OUTSIDE ABOVE GRADE WHERE SUBJECT TO DAMAGE. CONTRACTOR SHALL USE PVC SCHEDULE 80 BELOW GRADE.
- SEE SHEETS C1-00 AND C2-00 FOR CONDUIT STUB UP LOCATIONS.
- CONTRACTOR TO LOCATE JUNCTION BOX, CONDUIT PULLING POINT, OR APPROVED ALTERNATIVE FOR SITE SPECIFIC RUN LENGTHS AND BENDS.
- THE CONTRACTOR SHALL PERFORM A 30-DAY LOAD STUDY ON PANEL 'LR-1'/'LR-2' FEEDER BREAKER ON THE SWITCHBOARD. THE LOAD STUDY SHALL UTILIZE A METERING DEVICE THAT CAN MEASURE AND RECORD THE PEAK DEMAND ON EACH PHASE CONDUCTOR AND THE NEUTRAL CONDUCTOR EVERY 15 MINUTES OVER THE DURATION OF THE 30-DAY PERIOD. THE RESULTS SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL EITHER IN .XLSX FORMAT WITH DATE, TIME, PHASE COLUMNS AND RECORDED PEAK DEMAND OR IN PLOTTED FORMAT FOR EACH PHASE AND NEUTRAL WITH AMPS SHOWN ON THE Y-AXIS AND TIME ON THE X-AXIS. ON THE RESULTS SUBMITTAL, INCLUDE THE NAME OF THE ELECTRICIAN, THE DAYS THE LOAD STUDY STARTED AND FINISHED, AND THE NAME OF THE PANEL THAT THE LOAD STUDY IS BEING PERFORMED ON. THE CONTRACTOR SHALL NOT PROCEED WITH ANY MODIFICATIONS AND/OR ADDITIONS UNTIL WRITTEN APPROVAL IS RENDERED FROM THE ENGINEER.

Panel Schedule															
Existing Panel 'LR-2' Location: Existing Electrical Room Volts: 208Y/120V Phase: 3 Wire: 4 Hertz: 60															
400A MLO Main AIC: N/A Branch AIC: (See Note 3) ENCL. (NEMA): 1 MTG: Surface															
400 Amp Frame, Ground Bar, Locking Cover, Panel Card															
Description of Load Served	Breaker		Wire	A/Phase			CKT No	CKT No	A/Phase			Wire	Breaker		Description of Load Served
	Amp	Pole		A	B	C			A	B	C		Amp	Pole	
SPACE				-	-	-	43	44	-	-	-				SPACE
				-	-	-	45	46	-	-	-				
				-	-	-	47	48	-	-	-				
				-	-	-	49	50	EX						
SYSTEM DLT19 DEFROST	30	3	EXIST	EX	EX		51	52		EX		EXIST	20	3	SYSTEM DLT12 DEFROST
				-	-	EX	53	54		EX		EXIST			
SPARE				-	-		55	56	EX		EX	EXIST	20	3	SYSTEM DLT13 DEFROST
				-	-		57	58		EX		EXIST			
SPARE				-	-		59	60			EX	EXIST			
				-	-		61	62	EX			EXIST			
SYSTEM DLT21 DEFROST	20	3	EXIST		EX		63	64		EX		EXIST	20	3	SYSTEM DLT22 DEFROST
				EX	EX		65	66			EX	EXIST			
PANEL DLT	20	2	EXIST		EX		67	68	-	-	-				SPACE
					EX		69	70							SPACE
					EX		71	72							SPACE
EXISTING LOAD	20	2	EXIST	EX			73	74	48.0			See Note 5	60	2	CHARGING STATION EV02
					EX		75	76		48.0		See Note 5			
SPACE					EX		77	78		5.0		See Note 5	20	1	CHARGING STATION EV02
CHARGING STATION EV01	20	1	See Note 5	5.0			79	80	EX						
							81	82		EX		EXIST	20	3	DLT20 COND UNIT
CHARGING STATION EV01	60	2	See Note 5	48.0			83	84			EX				
											EX				
				Total A/Phase			5.0	48.0	48.0		48.0	48.0	5.0		Total A/Phase

Notes:

- Connected KVA (New): 24.2
- Demand KVA (New): 30.3
- Contractor shall match existing AIC Rating.
- Where load is labeled 'EX' the load is unknown.
- See Voltage Drop Table for conductor sizing.

L2 Conductor Voltage Drop Table Per Charging Station										
<175FT	175FT-200FT	200FT-255FT	255FT-275FT	275FT-320FT	320FT-400FT	400FT-440FT	440FT-510FT	510FT-635FT	635FT-700FT	700FT-800FT
(2) #4 AWG +	(2) #4 AWG +	(2) #3 AWG +	(2) #2 AWG +	(2) #2 AWG +	(2) #1 AWG +	(2) #1/0 AWG +	(2) #1/0 AWG +	(2) #2/0 AWG +	(2) #3/0 AWG +	(2) #3/0 AWG +
(2) #12 AWG +	(2) #10 AWG +	(2) #10 AWG +	(2) #10 AWG +	(2) #8 AWG +	(2) #8 AWG +	(2) #6 AWG +	(2) #6 AWG +	(2) #6 AWG +	(2) #4 AWG +	(2) #4 AWG +
(1) #6 AWG GND	(1) #6 AWG GND	(1) #4 AWG GND	(1) #4 AWG GND	(1) #4 AWG GND	(1) #4 AWG GND	(1) #3 AWG GND	(1) #3 AWG GND	(1) #2 AWG GND	(1) #1 AWG GND	(1) #1 AWG GND

- VOLTAGE DROP TABLE NOTES
- CONTRACTOR SHALL BE RESPONSIBLE FOR DE-RATING CONDUCTORS WHEN 4 OR MORE CURRENT CARRYING CONDUCTORS ARE CARRIED IN THE SAME CONDUIT PER THE NEC.
 - THE DISTANCES IN THIS TABLE ARE TOTAL DISTANCES, NOT HORIZONTAL DISTANCES. INCLUDE VERTICAL RUNS AND JUNCTION BOX COIL LENGTH IN THE TOTAL CONDUCTOR DISTANCE.
 - WHEN MORE THAN ONE CHARGING STATION CIRCUIT CONDUCTORS ARE IN A CONDUIT, USE ONLY ONE SHARED EQUIPMENT GROUND CONDUCTOR.
 - WHEN INSTALLING #1/0 AWG OR LARGER CONDUCTORS FROM THE POWER SOURCE TO EVCS, INCLUDE MULTICONDUCTOR TAPS IN THE CLOSEST JUNCTION BOX PRIOR TO ENTERING THE EVCS OR IN THE EVCS ITSELF SO THAT #6 AWG CONDUCTORS CAN BE TERMINATED IN THE EVCS.

Conduit Schedule				
Conduit Section	Conduit #	Conduit Size	Conductors	Installation Method
A	1	2"	(See Voltage Drop Table)	Interior Mount / Directional Bore
	2	3/4" Min	Future Communications w/ Pull String	
B	1	2"	(See Voltage Drop Table)	Directional Bore
	2	3/4" Min	Future Communications w/ Pull String	
C	1	2"	(See Voltage Drop Table)	Directional Bore
	2	3/4" Min	Future Communications w/ Pull String	

VOLTA

155 DE HARO STREET
SAN FRANCISCO, CA 94103

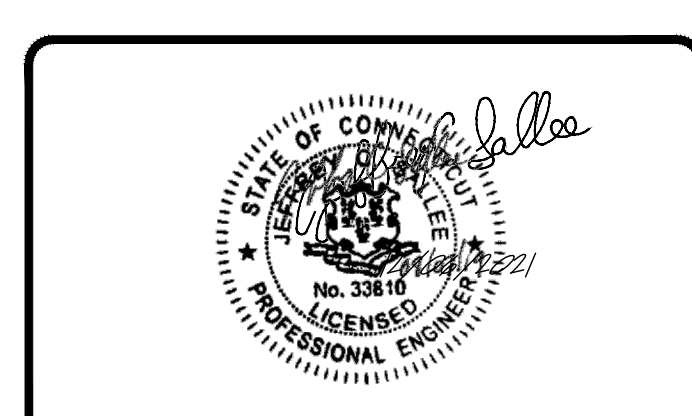
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STOP & SHOP #2604 TORRINGTON

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TORRINGTON, CT 06790

SHEET TITLE
ELECTRICAL ONE LINE DIAGRAM & PANEL SCHEDULE

SHEET NUMBER
E1-00

NOTES:

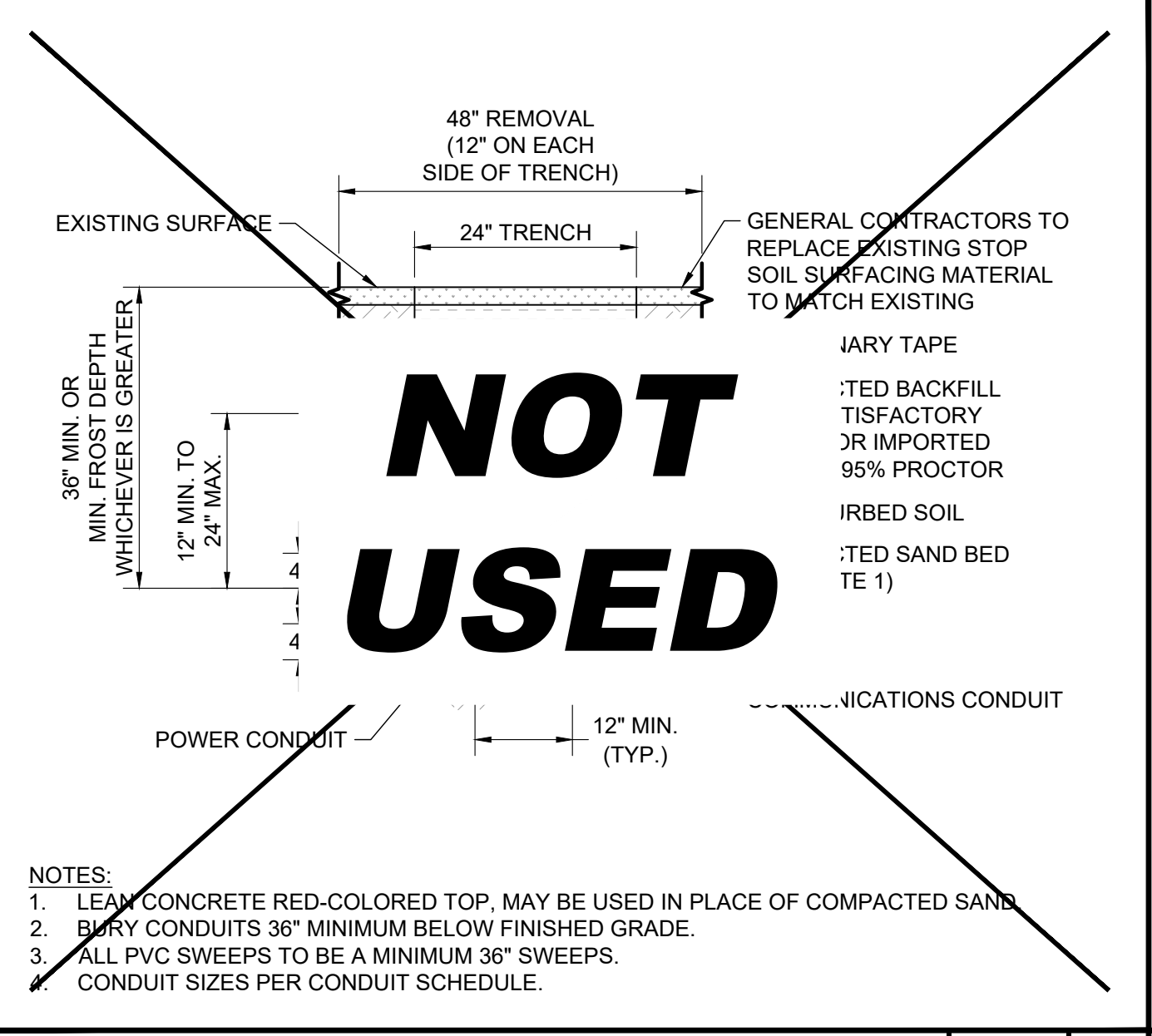
1. A NATIONALLY RECOGNIZED TESTING LABORATORY SHALL LIST ALL EQUIPMENT IN COMPLIANCE WITH ART110.3.
2. ALL EXTERIOR EQUIPMENT SHALL BE RAIN TIGHT AND APPROVED FOR USE IN WET CONDITIONS.
3. ALL CONDUCTORS SHALL BE PROVIDED WITH STRAIN RELIEF UPON ENTRY INTO ENCLOSURES.
4. EACH UNGROUNDED CONDUCTOR SHALL BE IDENTIFIED BY PHASE AND SYSTEM PER ART 210.5.
5. ALL METALLIC COMPONENTS SHALL BE GROUNDED VIA EQUIPMENT GROUNDING CONDUCTORS.
6. CHARGING UNITS ARE EQUIPPED WITH AN INTEGRATED CONTACTOR TO PREVENT BACK FEEDING OF POWER TO THE SOURCE.

ABBREVIATIONS:

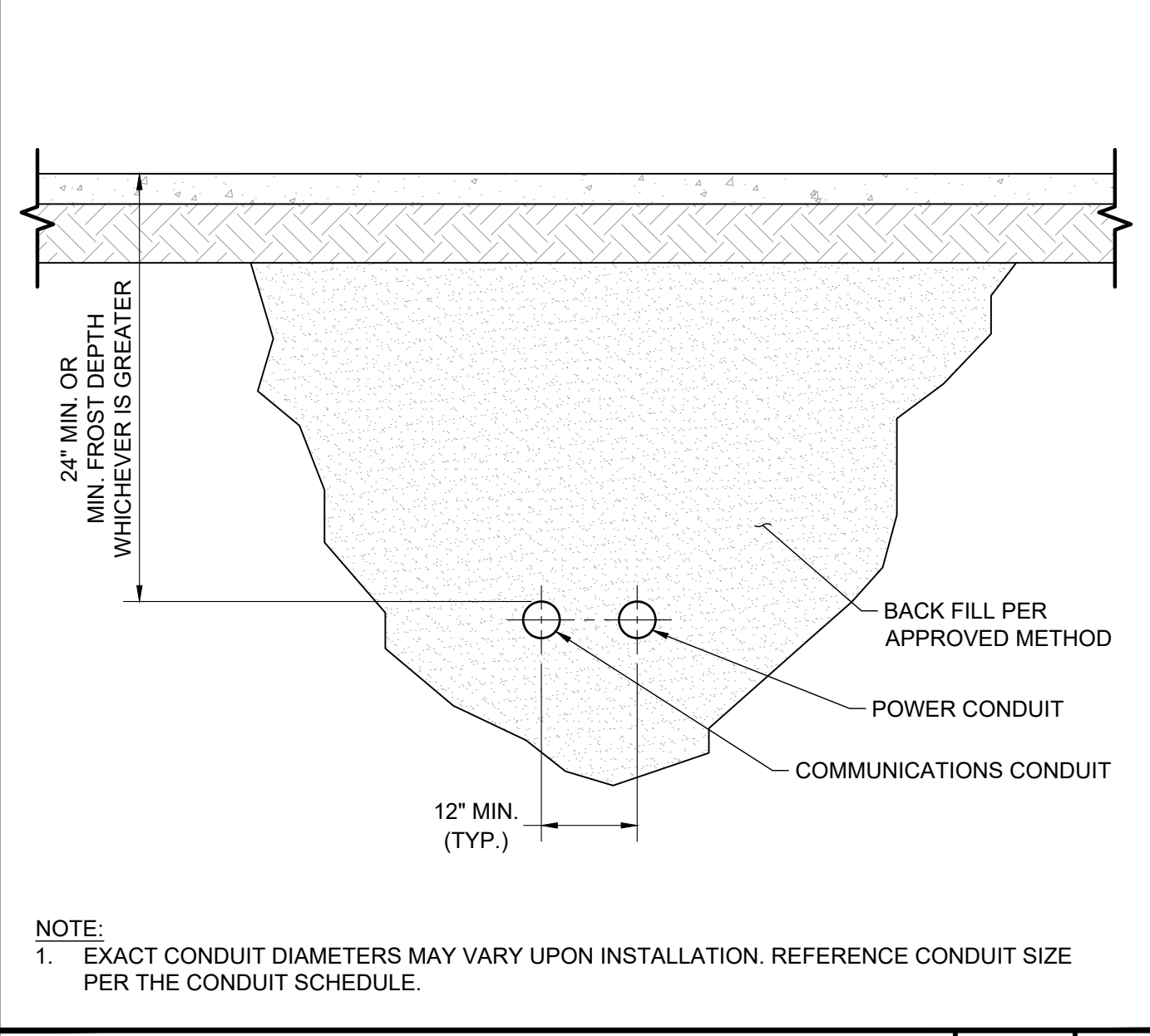
- A AMPERE
- AC ALTERNATING CURRENT
- AL ALUMINUM
- ART ARTICLE
- AUX AUXILIARY
- BLDG BUILDING STRUCTURE
- CONC CONCRETE
- CU COPPER
- DC DIRECT CURRENT
- EGC EQUIPMENT GROUNDING CONDUCTOR
- (E) EXISTING
- EMT ELECTRIC METALLIC TUBING
- EV ELECTRIC VEHICLE
- EVSE ELECTRIC VEHICLE SUPPLY EQUIPMENT
- GALV GALVANIZED
- GND GROUND
- HDG HOT DIPPED GALVANIZED
- I CURRENT
- KVA KILOVOLT AMPERE
- KW KILOWATT
- M METER
- MAX MAXIMUM
- MIN MINIMUM
- N NEUTRAL
- NEC NATIONAL ELECTRIC CODE
- NTS NOT TO SCALE
- (N) NEW
- OC ON CENTER
- PL PROPERTY LINE
- PVC POLYVINYL CHLORIDE
- RMC RIGID METALLIC CONDUIT
- SCH SCHEDULE
- SS STAINLESS STEEL
- TYP TYPICAL
- V VOLT
- W WATT
- XFMR TRANSFORMER

ELECTRICAL NOTES:

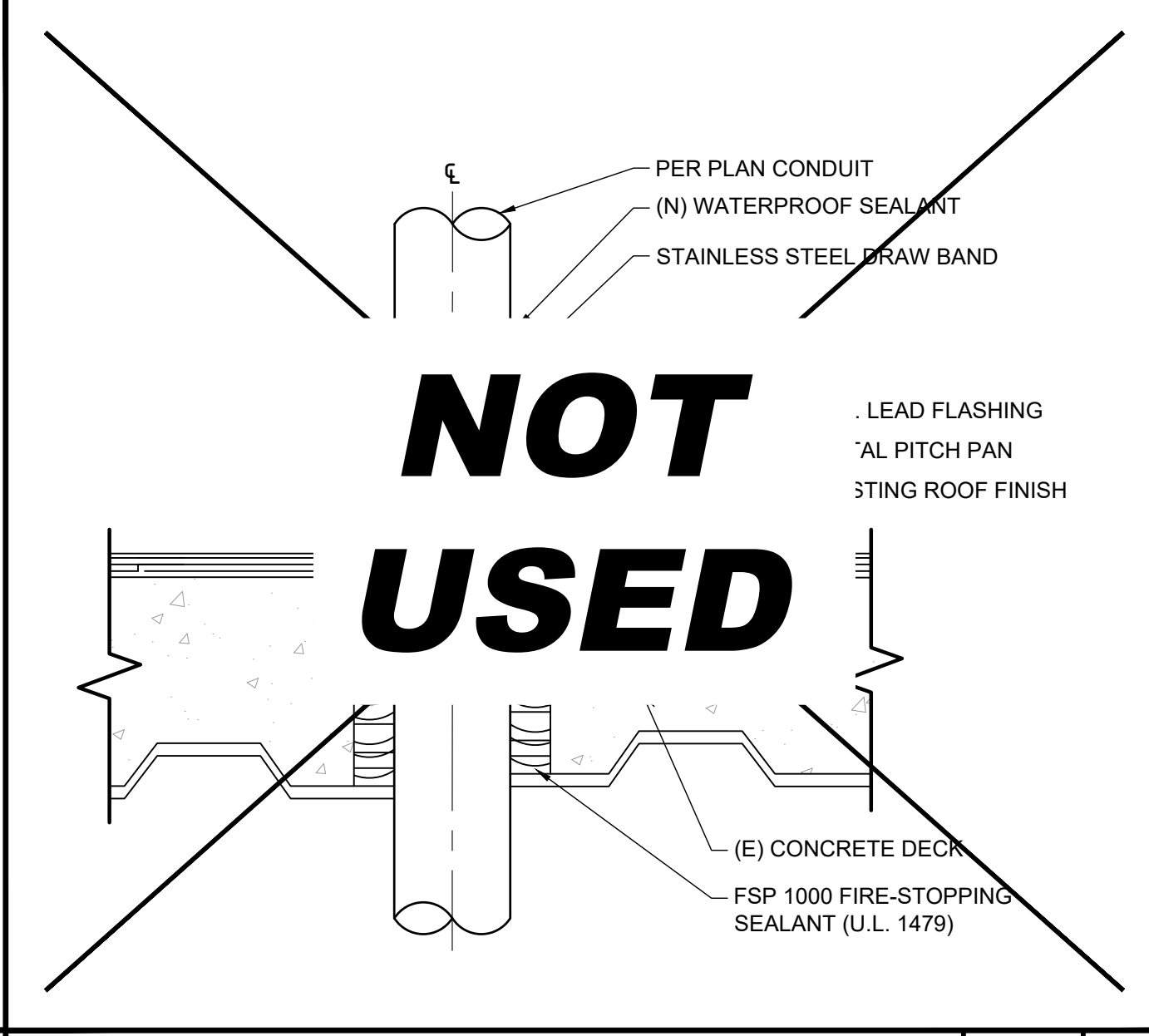
1. ALL ELECTRICAL WORK AND RELATED ACTIVITIES PERFORMED ON-SITE SHALL BE DONE IN ACCORDANCE WITH NATIONAL ELECTRIC CODE (NEC) STANDARDS BEING ENFORCED BY ALL APPLICABLE JURISDICTIONAL REQUIREMENTS AT THE TIME OF CONSTRUCTION.



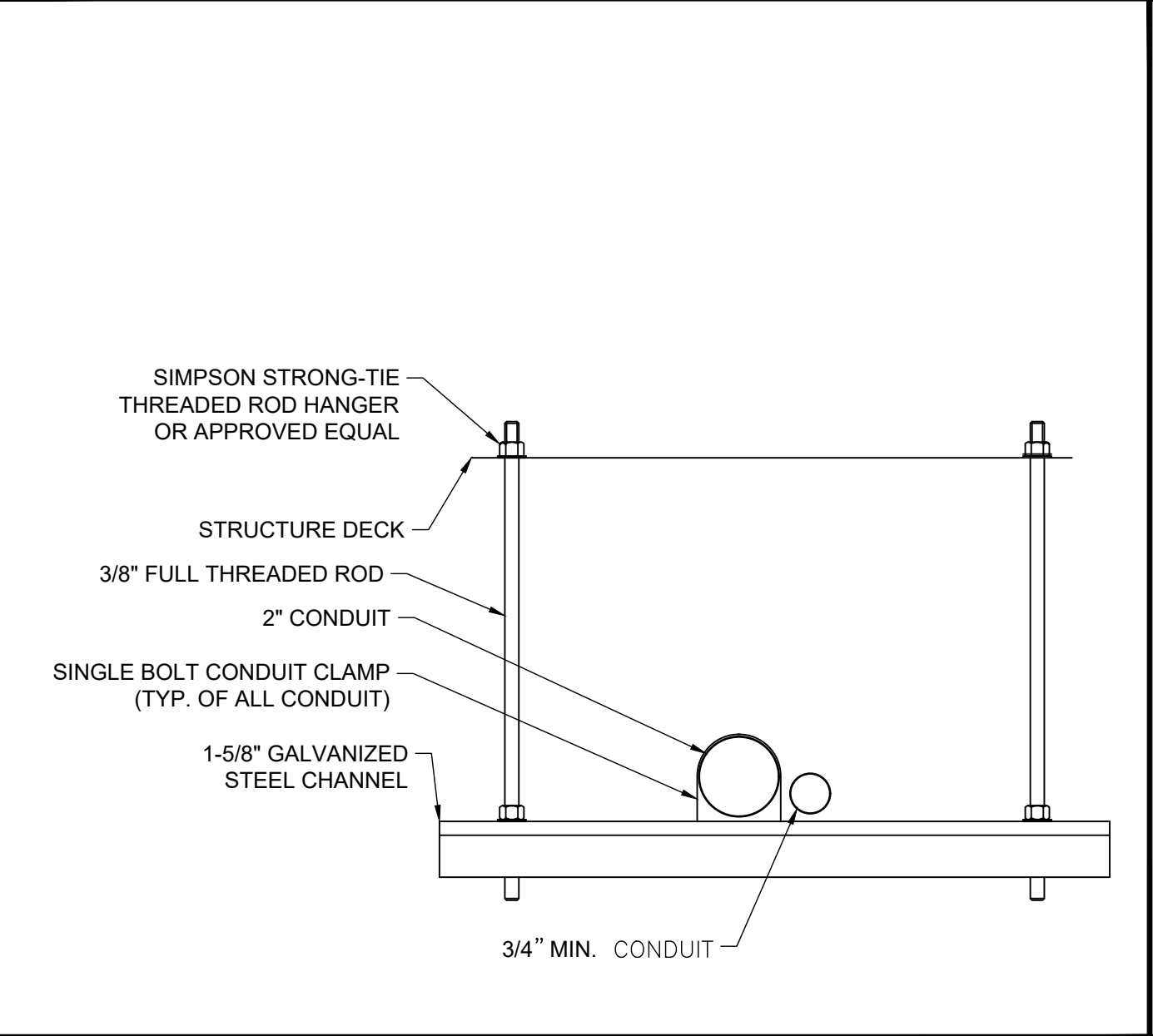
POWER TRENCH SCALE N.T.S. 2



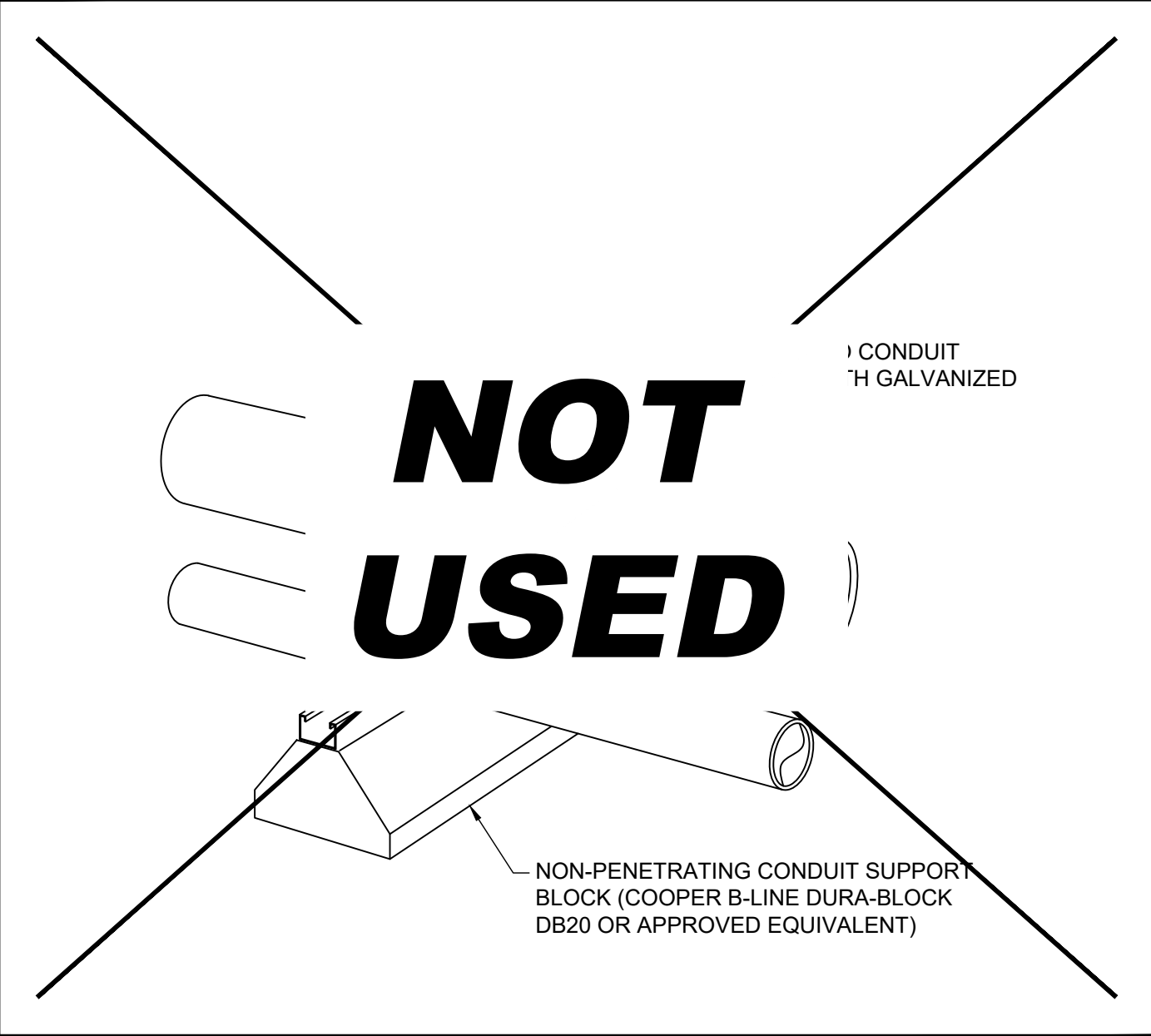
BORE SECTION SCALE N.T.S. 3



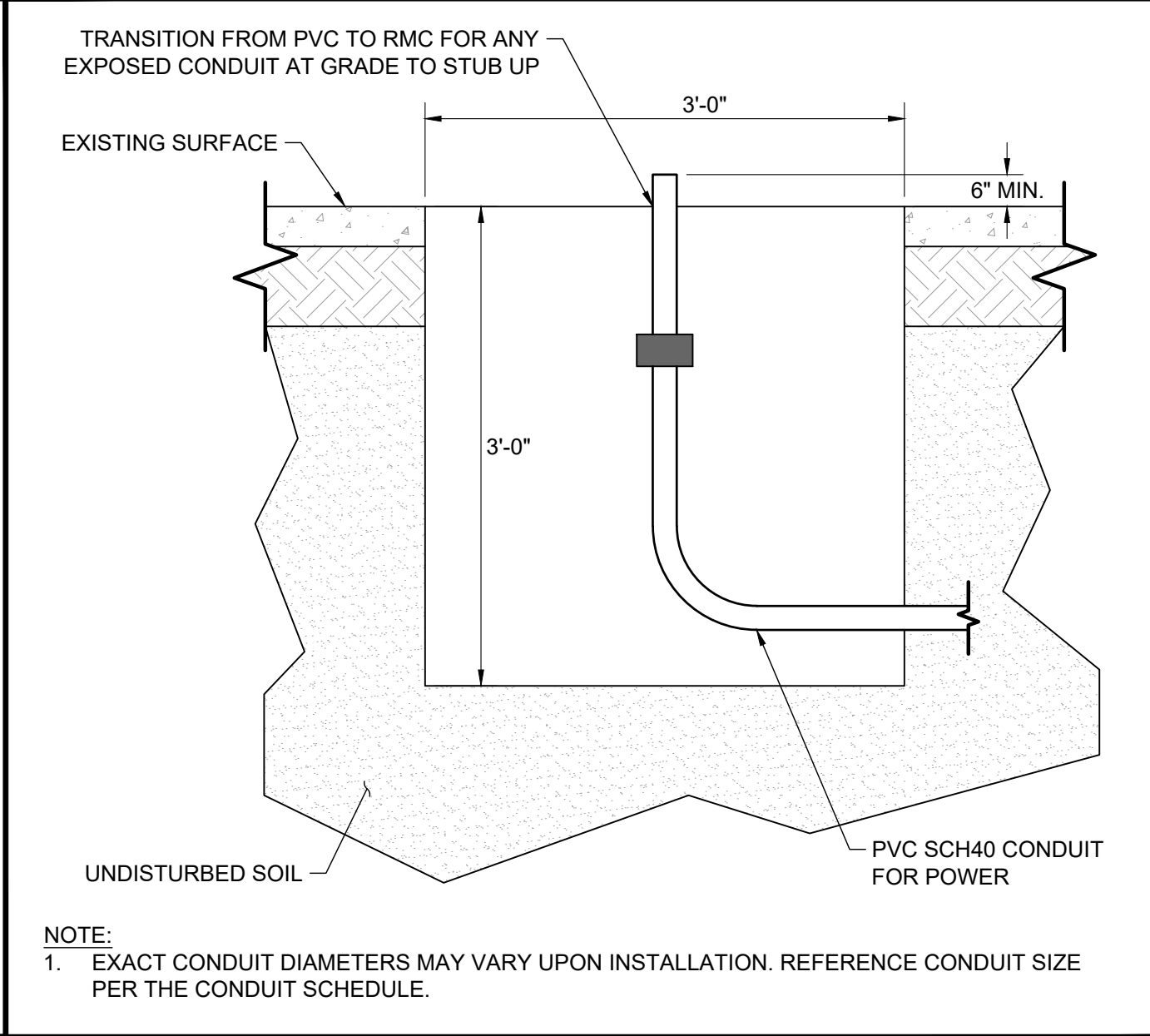
CORE DETAIL SCALE N.T.S. 4



CEILING CONDUIT SUPPORT SCALE N.T.S. 5

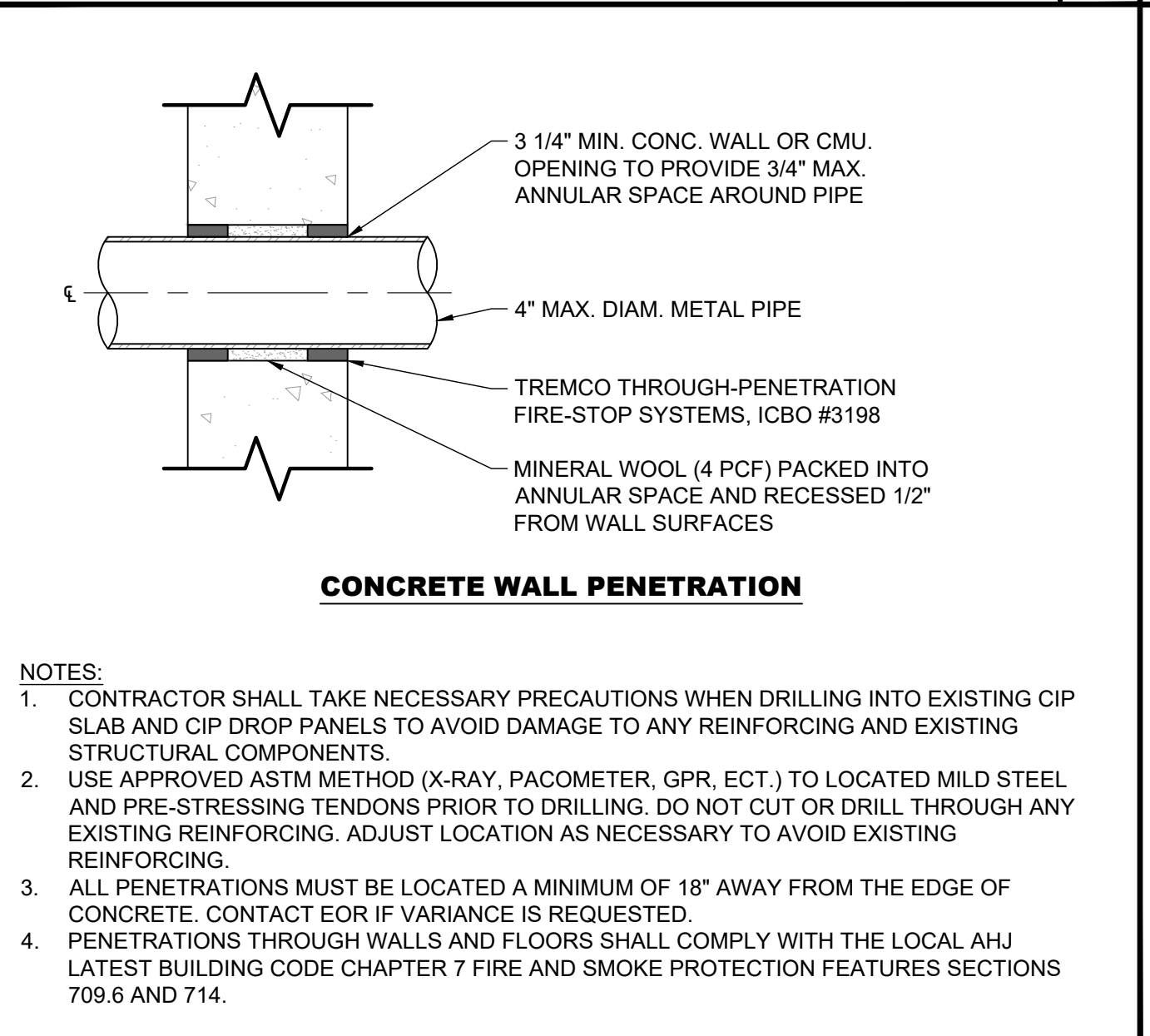


ROOFTOP CONDUIT SUPPORT SCALE N.T.S. 6

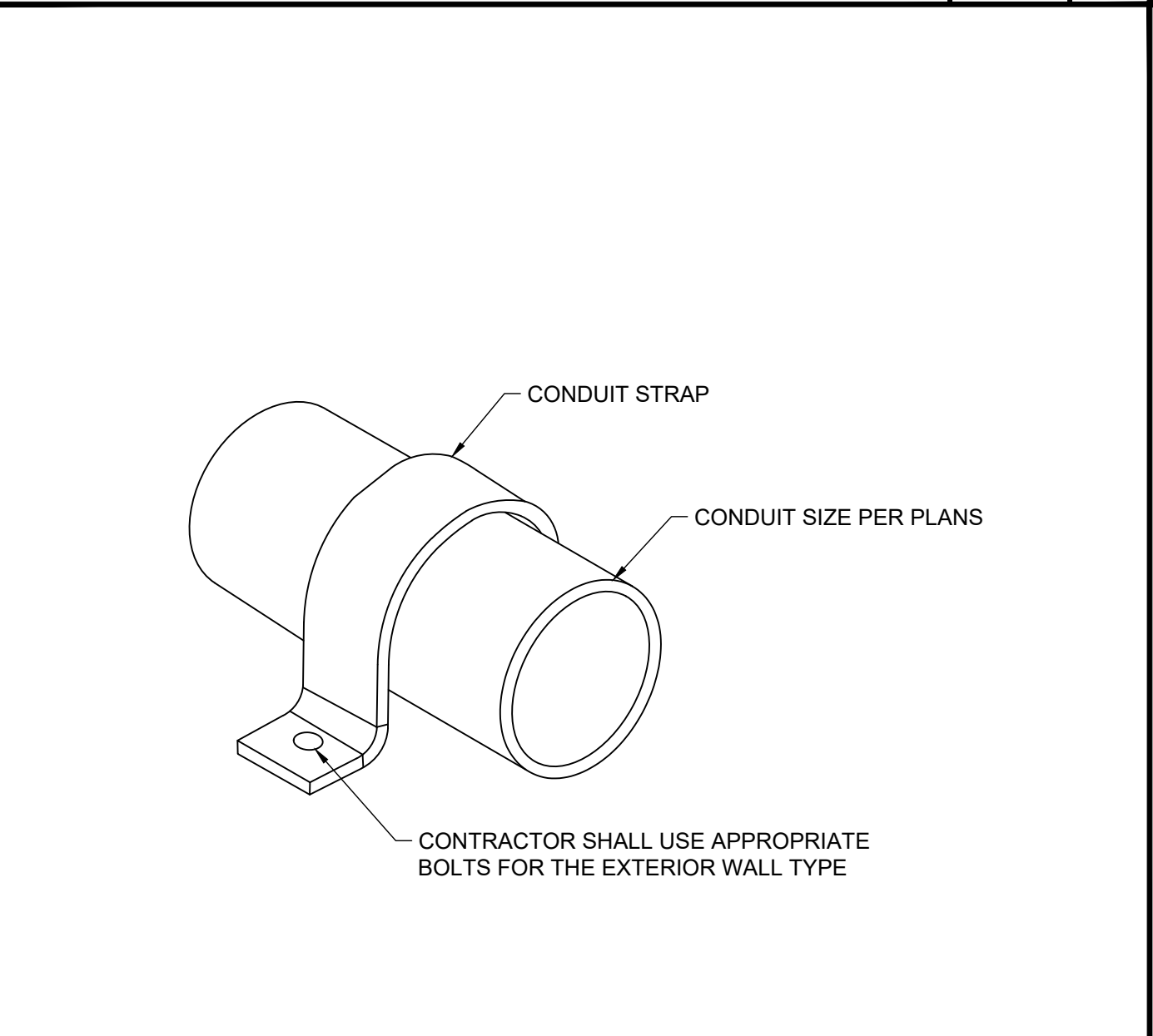


BORE PIT SCALE N.T.S. 7

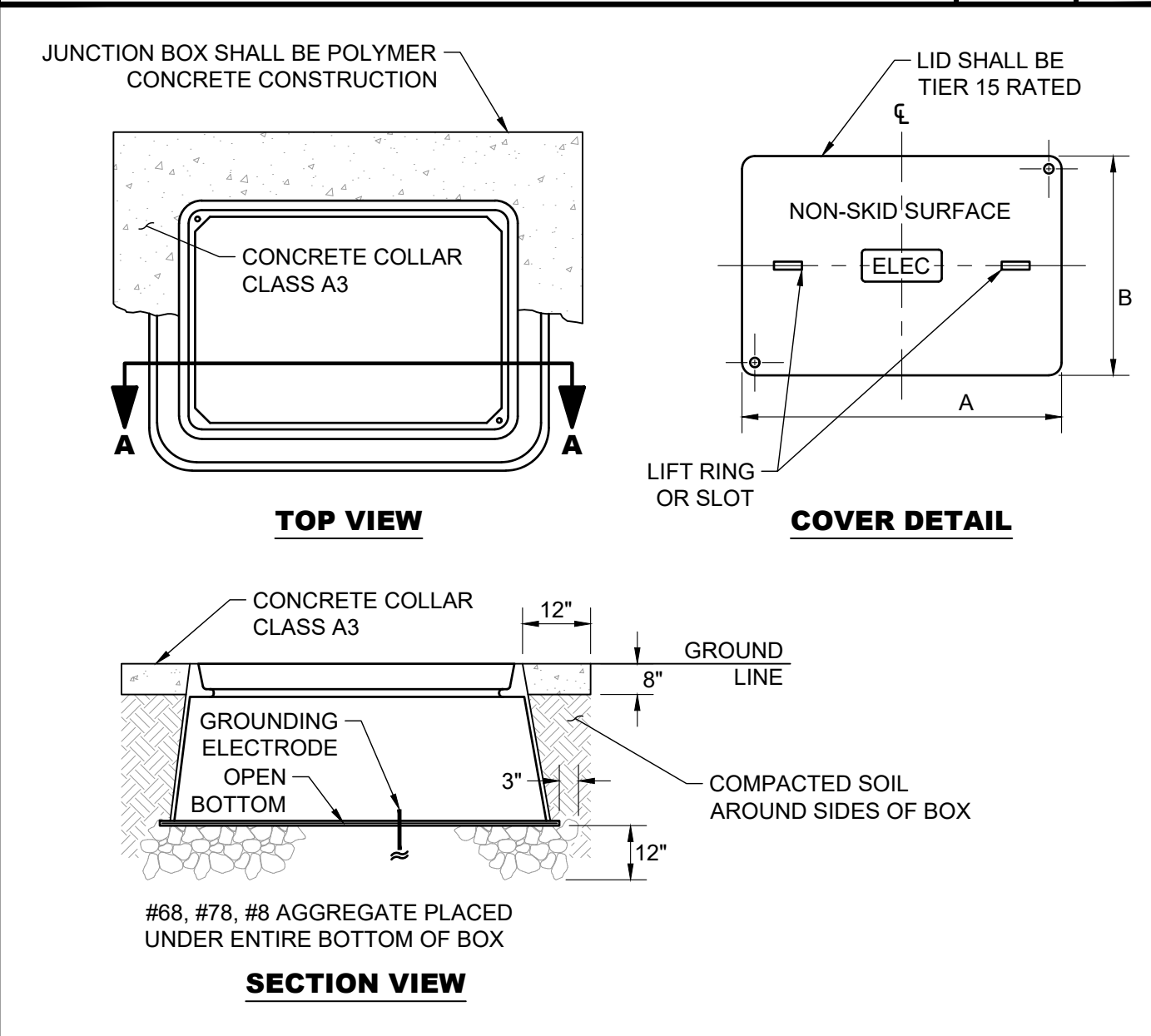
ELECTRICAL NOTES & ABBREVIATIONS 1



PENETRATION DETAIL SCALE N.T.S. 8



WALL CONDUIT MOUNT STRAP SCALE N.T.S. 9



NON-TRAFFIC RATED JUNCTION BOX SCALE N.T.S. 10



BTC POLE DISCONNECT SWITCH SCALE N.T.S. 11

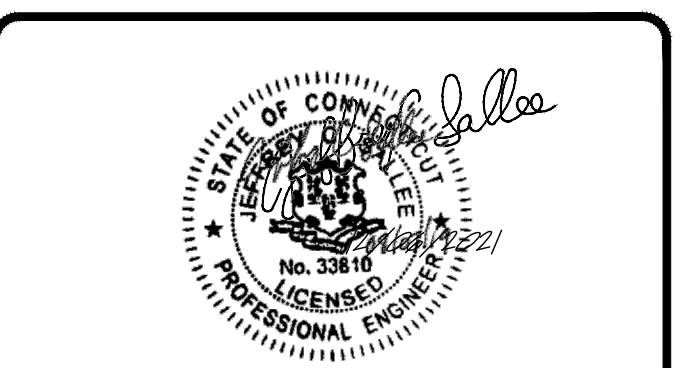
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IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

STOP & SHOP #2604 TORRINGTON
931 TORRINGTON STREET
TORRINGTON, CT 06790

SHEET TITLE
ELECTRICAL NOTES & DETAILS

SHEET NUMBER
E2-00

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES